THE JEFFERSON - A BED AND BREAKFAST

USE PERMIT SET

SHEET INDEX

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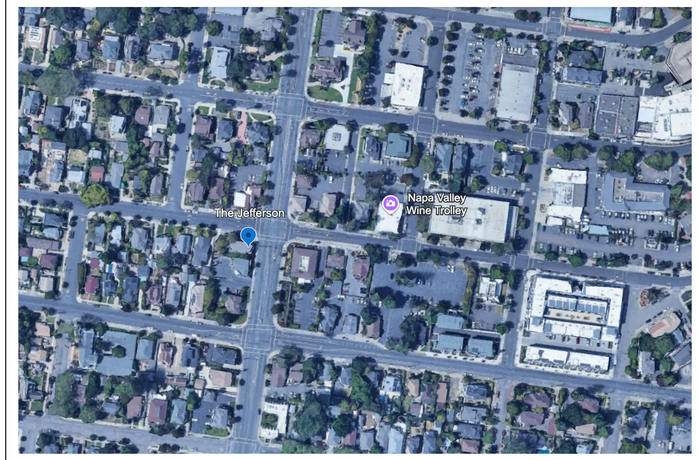
PROPOSED EXTERIOR RENDERING

VICINITY MAP



LEGAL DESCRIPTION

ADDRESS: 845 JEFFERSON ST. NAPA CA 94559

ACCESSOR PARCEL NUMBER: 002.175.019.000

CODE SUMMARY

ZONE: OC, TI

FIRE ZONE: MODERATE FIRE HAZARD ZONE UNDER LRA CLASSIFICATION

PROPERTY TYPE: COMMERCIAL IMPROVED, B

CONSTRUCTION TYPE BUILDING: V- WOOD FRAMED

NUMBER OF FLOORS: 2

LOT AREA: 6707 Sq. Ft

FLOOR AREA-

FIRST FLOOR: 1469 Sq. Ft. not including outside Porch

SECOND FLOOR: 900 Sq. Ft. not including roof decks

BASEMENT: 534 Sq. Ft.

BUILDING HEIGHT: 24'-0"

No additional Square Footage is planned to be added to the Existing Structure. Garage to be removed for Parking Requirements.

FIRE SPRINKLERS: No Existing Fire Sprinkler System

PROVIDE AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R 313.3 OR NFPA 13D.
THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

BUILDING CODES

HISTORICAL PRESERVATION TITLE 24 PART 8

2022 CALIFORNIA HISTORICAL BUILDING CODE- CHP. 15.52

CALIFORNIA BUILDING STANDARDS CODE TITLE 24

CALIFORNIA BUILDING CODE (CBC)- PART 2, SECTION 310, CHP.11B, SECTION 105

CALIFORNIA FIRE CODE (CFC)- PART 9

CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)- PART 11

CALIFORNIA ENERGY CODE- PART 6

CALIFORNIA ELECTRICAL CODE-PART 3

MECHANICAL CODE-PART 4

PLUMBING CODE- PART 5

CALIFORNIA RETAIL FOOD CODE- CHP. 17.46 B&B INNS

NAPA MUNICIPAL CODES AND ORDINANCES

CHP-17.52 SITE AND USE REGULATIONS SECTION 17.52.070 BED AND BREAKFAST INN

CHP-17.06

CHP 17.60

CHP-15.04 BUILDING STANDARDS AND REGULATIONS

CHP-17.52 HISTORICAL PRESERVATION

PROPERTY OWNER INFORMATION

MICHAEL CLARK
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YOUNTVILLE, CA 94599

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EMAIL:MCLARKDESIGN@SBCGLOBAL.NET

DESIGN CONSULTING AND SPACE PLANNING

CLARK ROWE DESIGN
BECKY ROWE
66 OAK ISLAND CR.
SONOMA, CA 95409

EMAIL: BEXX2018@GMAIL.COM

*CONCEPTUAL DRAWINGS ONLY, NOT FOR CONSTRUCTION
ALL MEASUREMENTS MUST BE VERIFIED ON-SITE FOR ANY TRADES

SCOPE OF WORK

This "Scope of Work" serves as a guide for City Planners. This Planning Phase sets the stage for the subsequent phases, ensuring that all necessary groundwork is laid for a smooth transition into the Design and Construction phases.

Introduction

The Jefferson is a Craftsman Prairie-style building located in the heart of Napa, California. It stands as a testament to early 20th-century architectural beauty, originally designed by notable Architect Luther M Turton (May 22,1862-April 27 1925). This building was constructed for Henry J. Manasse in 1917. The home has transitioned from a private residence to various office spaces over the decades. Its simple wooden trims and handcrafted moldings exemplify the Craftsman style, contributing to its historical value and charm. Situated in a bustling tourist district, The Jefferson is strategically positioned to enhance Napa's hospitality sector. The transformation into a Bed and Breakfast aims to preserve its architectural integrity while catering to modern hospitality needs.

Location and Setting-

Nestled in the heart of Napa, California, this building is located amidst a lively neighborhood, characterized by its proximity to historic downtown structures and a bustling Commercial area. The Napa River, a significant waterway, flows nearby, enhancing the scenic beauty and ecological value of the area. The Jefferson's location on a prominent roadway leading to Napa's historic downtown facilitates easy transportation and promotes economic synergy with local businesses. This strategic positioning not only enhances accessibility but also integrates seamlessly with the city's transportation network, offering visitors convenient access via the nearby highway and ample on-site parking.

Surrounded by a diverse array of local shops and restaurants, guests at The Jefferson will find themselves within walking distance of numerous dining and exploration opportunities. The area's cultural significance is further enriched by the nearby Napa Valley Opera House and Uptown Theatre, historical landmarks that offer a variety of cultural performances.
The Jefferson's setting is also a hub for culinary experiences, thanks to its proximity to renowned Wineries and Restaurants, making it an ideal destination for tourists seeking to indulge in Napa's rich gastronomic offerings.

This unique blend of historical charm, cultural vibrancy, and strategic accessibility positions The Jefferson as a prime location for enhancing the hospitality sector in Napa.

Project Goals-

• Integrate state-of-the-art amenities while preserving the building's historical charm, ensuring a seamless blend of modernity and tradition.

• Historical Preservation to maintain the building's distinctive handcrafted moldings and wooden trims to honor its Craftsman-Prairie Style heritage, while updating features to meet contemporary standards.

• Economic goals to drive increased tourism by offering a unique hospitality experience, thereby boosting local business revenue and contributing to Napa's economic vitality.

• Sustainability Objectives to achieve energy efficiency through modern insulation and energy-saving appliances, aligning with sustainable development practices.

• Guest Experience Objectives to focus on accessibility and comfort for all guests by ensuring compliance with ADA standards, providing an inclusive environment that caters to diverse needs.

Design Intentions-

This section outlines the design intentions for transforming The Jefferson, focusing on interior layout modifications and the preservation of historical features. The design approach ensures a seamless blend of historical charm and contemporary functionality.

Exterior Modifications;

• Restoring the Original Chimney that was damaged in the Earthquake and removed.

• Restoring all Existing Trim work.

• Working with a Historical Local Architect to design replacement railings and reinstatement of original building features.

• Repairing any Original structure damage and updating where necessary.

• Removing all non-historical Windows and restoring Existing where necessary.

• Updating the Paint Scheme.

• Add new landscaping to create a more inviting and distinctive Property.

• Modify Existing Parking by adding an ADA Space and create better screening to neighboring house.

Interior Layout Modifications;

• Repositioning Non-Essential Walls: The interior layout will be reconfigured to create four individual suites, each equipped with en suite bathrooms. This modification ensures privacy and enhances guest comfort while maintaining the building's structural integrity.

• Preservation of Original Spaces: The original Dining Room will be preserved, the original Living Room with be restored and the former kitchen will be reinstalled, reflecting the building's historical layout. These spaces will be updated to meet modern hospitality standards without compromising their historical charm.

• Enhancement of Architectural Features: All existing Architectural features, such wooden trims and handcrafted moldings, will be meticulously restored. Modern and Historic lighting will be strategically placed to accentuate these historical details, marrying the old with the new.

• Fireplace Reinstallation: The fireplace will be reinstalled to restore the integrity of the exterior and interior design, serving as a focal point that honors the building's architectural heritage.

• Custom Wall-coverings and Artisan Tile Work: The interior will feature custom wall-coverings and artisan tile work that reflect the heritage while adding a layer of textured luxury. These elements will be carefully selected to complement the building's original craftsmanship.

• Modern Luxury Design: The suites will embody a modern luxury design, incorporating plush furnishings, rich textures, and technological enhancements for guest comfort. Custom furniture and finishes will be used to reflect the building's original craftsmanship while offering a contemporary guest experience.

• Accessibility Considerations: Wheelchair-accessible bathrooms and paths will be integrated throughout the building. Spacious walkways and low-profile thresholds will ensure smooth transitions between rooms, adhering to ADA standards and enhancing accessibility for all guests.

• Suite Dimensions and Arrangements: The layout will include large corner suites ranging from 450 to 600 square feet and smaller interior suites of 350 to 400 square feet, centered around a communal space. This arrangement maximizes space utilization while providing a welcoming environment for guests.

• Updating Existing Bathrooms: The house currently has 4 Bathrooms and 3 other location where there is only a Sink. The intention is to update the current areas to create 5 modern Full Bathrooms including the Manager's Unit, instead of the current 7 dysfunctional bath spaces.

•Compliance with Preservation Mandates: All modifications will adhere to local historical preservation mandates, ensuring that the project aligns with the guidelines set forth by the Preservation Board.

Building Codes-

• California's Title 24:

- Implementing energy-efficient lighting, HVAC systems and insulation.
- Ensuring that the building meets the specific energy efficiency measures suitable for Napa's climate zone.
- Submitting energy efficiency certificates to verify compliance.

• Fire Safety Standards: The project must adhere to fire safety regulations, which include:

- Installing smoke detectors on every floor and ensuring the presence of a fully functioning fire alarm system.
- Providing clear and accessible emergency exits with doors that can be unlocked from the inside without a key.
- Conducting regular fire risk assessments and maintaining records of these assessments.
- Addition of Fire Sprinklers per requirements.

• ADA Compliance: Ensuring accessibility for all guests is paramount. The renovation must meet ADA standards, which include:

- Providing at least one ADA-compliant room with an accessible bathroom.
- A full compliance ADA Suite will be part of the renovations.
- An ADA Lift will be added near the Parking Area.

• Local Zoning and Permits: The Jefferson is located in a mixed-use zone, requiring:

-Adherence to local zoning laws, including height and density limitations.
-Submission of Architectural Plans for review by the local development authority to ensure that design changes preserve the building's historical character.

• Documentation and Approval:

-To ensure compliance, all evidence required by the local development authority to demonstrate adherence to building codes and regulations will be submitted.

Conclusion-

In conclusion, the revitalization of The Jefferson not only preserves an important piece of Napa's history but also sets a benchmark for future projects that seek to balance historical preservation with modern luxury. This initiative underscores a commitment to enhancing the cultural and economic vitality of the locale, ensuring that Napa continues to flourish as a vibrant and welcoming community.

In closing the anticipated benefits include increased tourism, job creation, and enhanced local business revenue, all while honoring Napa's rich heritage by restoring a Historic Jewel.

SIGNATURE

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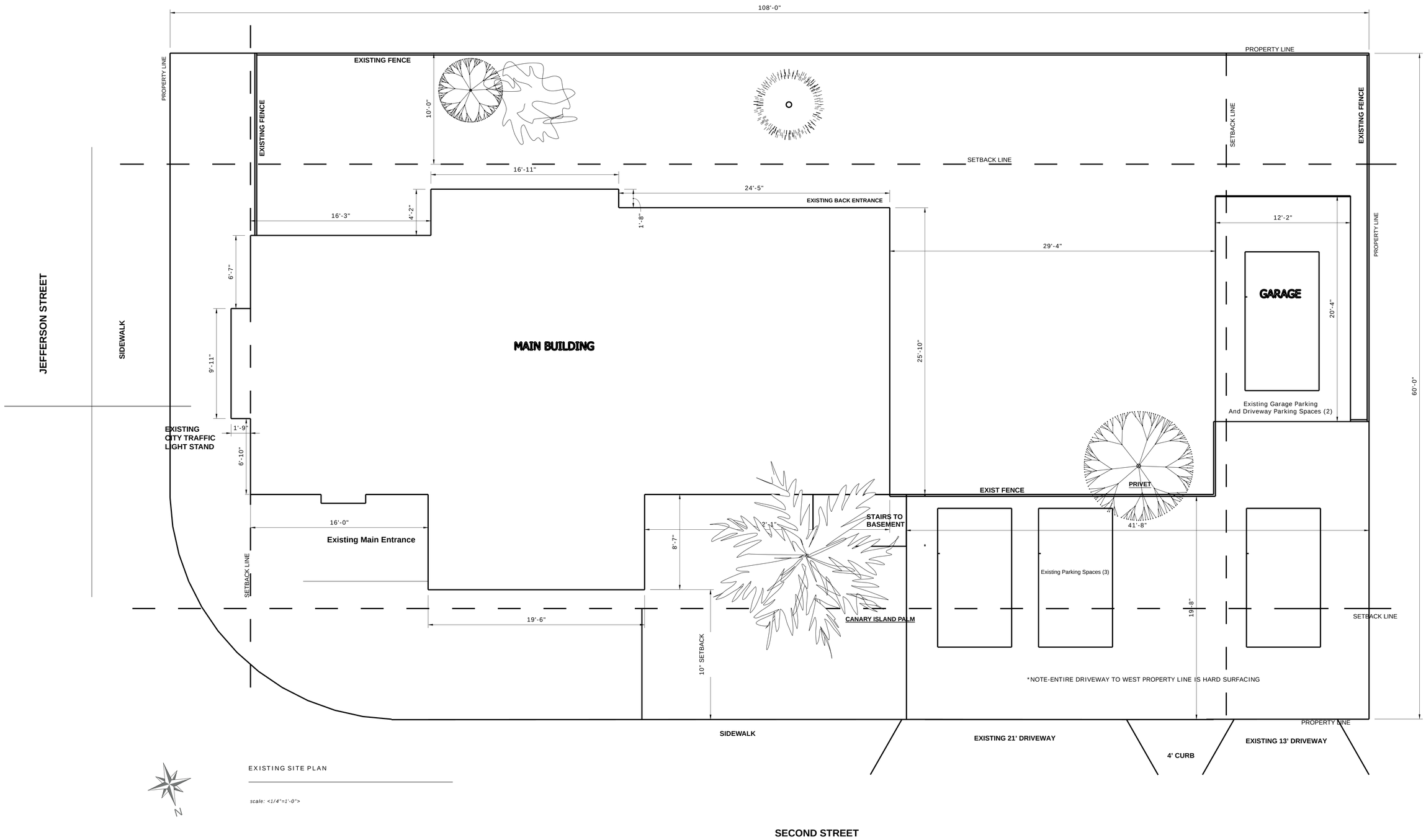
ISSUE
6-2-2026

DRAWN BY
B. ROWE

SUBMITTAL
REVISIONS DATE;

SHEET TITLE:
COVER SHEET

A-0.1



EXISTING SITE PLAN

scale: <1/4"=1'-0">

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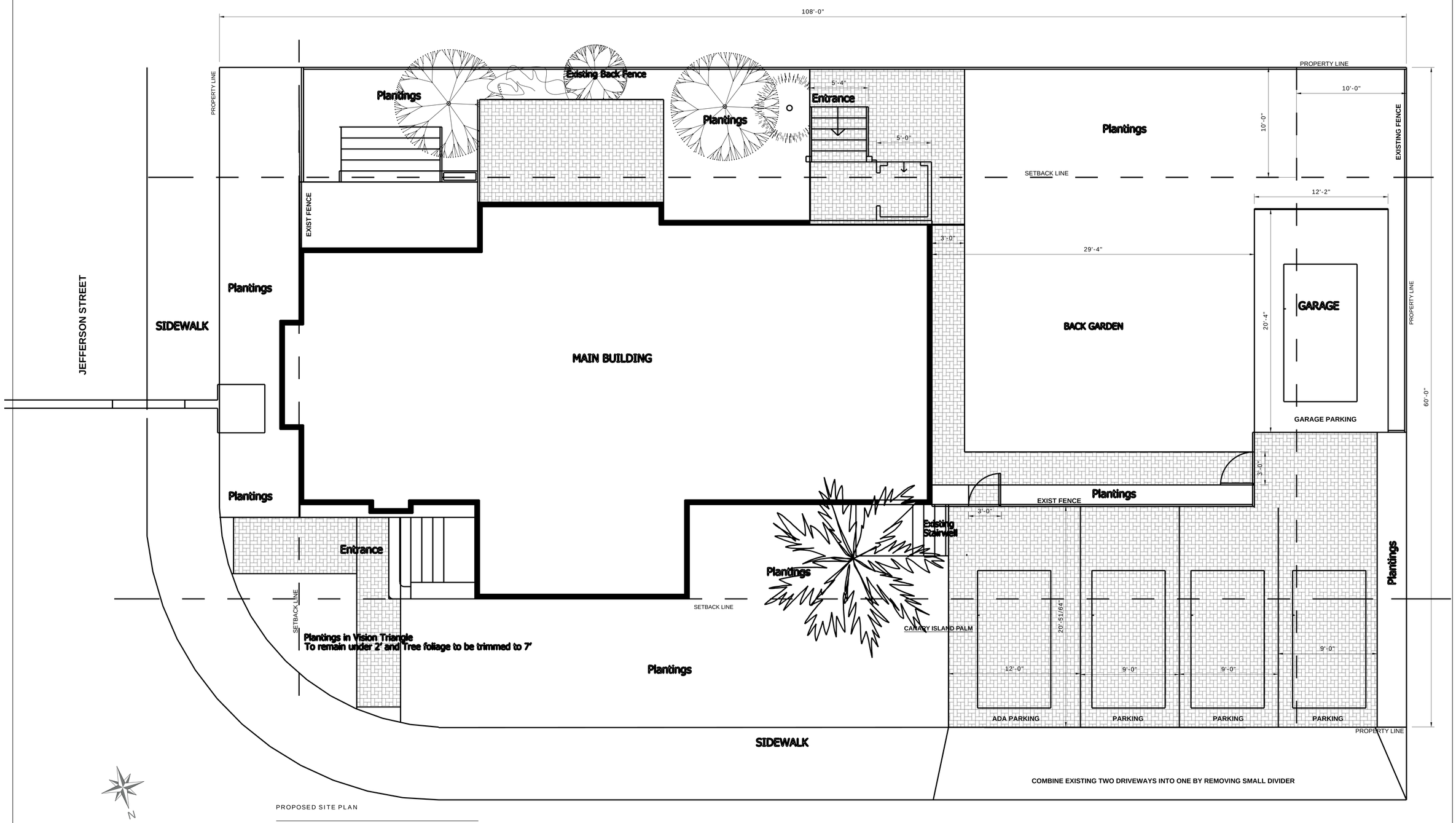
SHEET TITLE:
EXISTING SITE PLAN

A-0.2



PROPOSED SITE PLAN

scale: <1/4"=1'-0">

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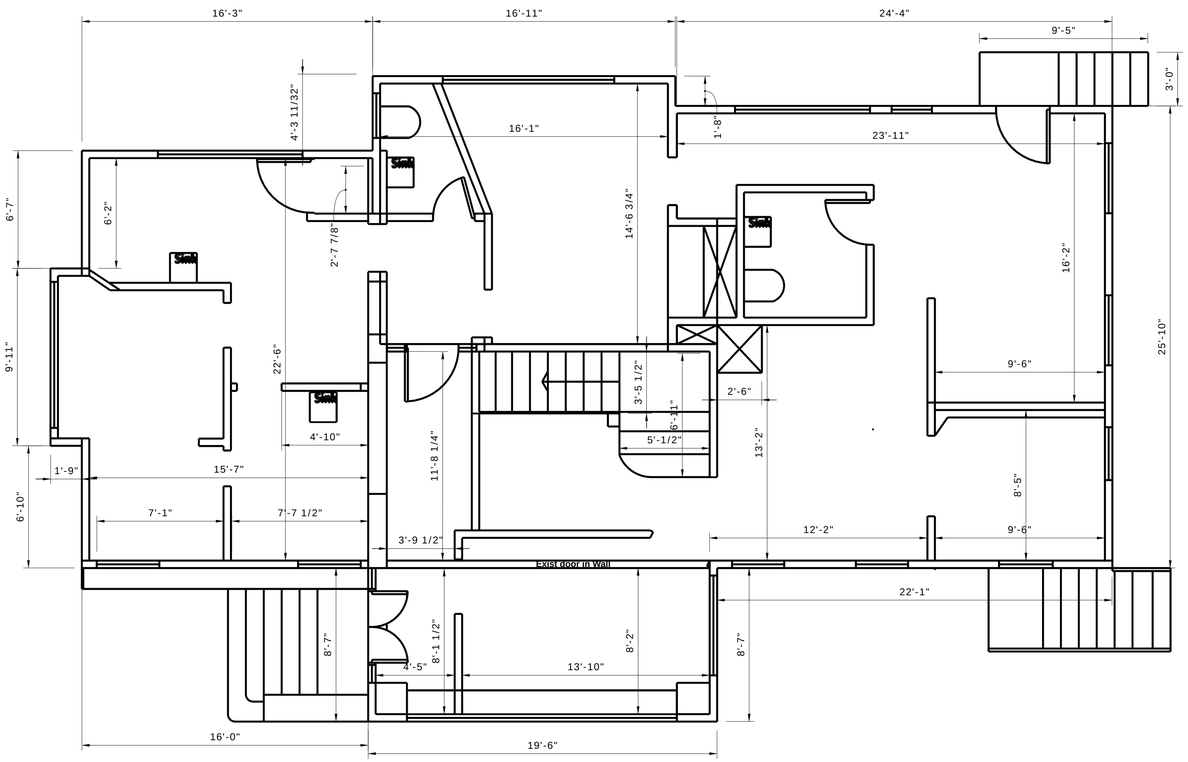
SHEET TITLE:
PROPOSED SITE PLAN

A-0.3



First Floor Existing Floor Plan
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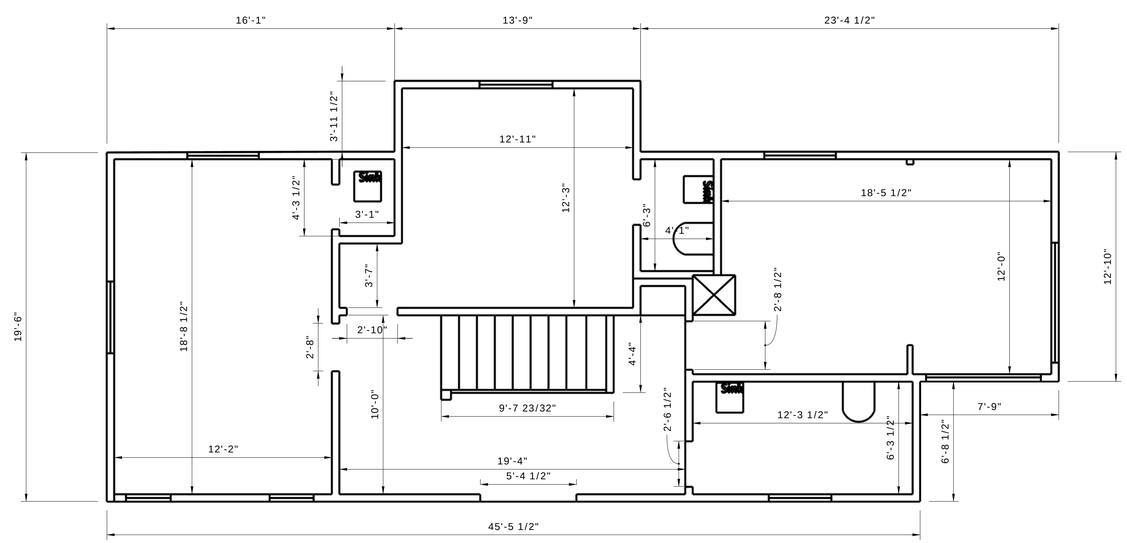

Second Floor Existing Floor Plan
scale: <1/4"=1'-0">

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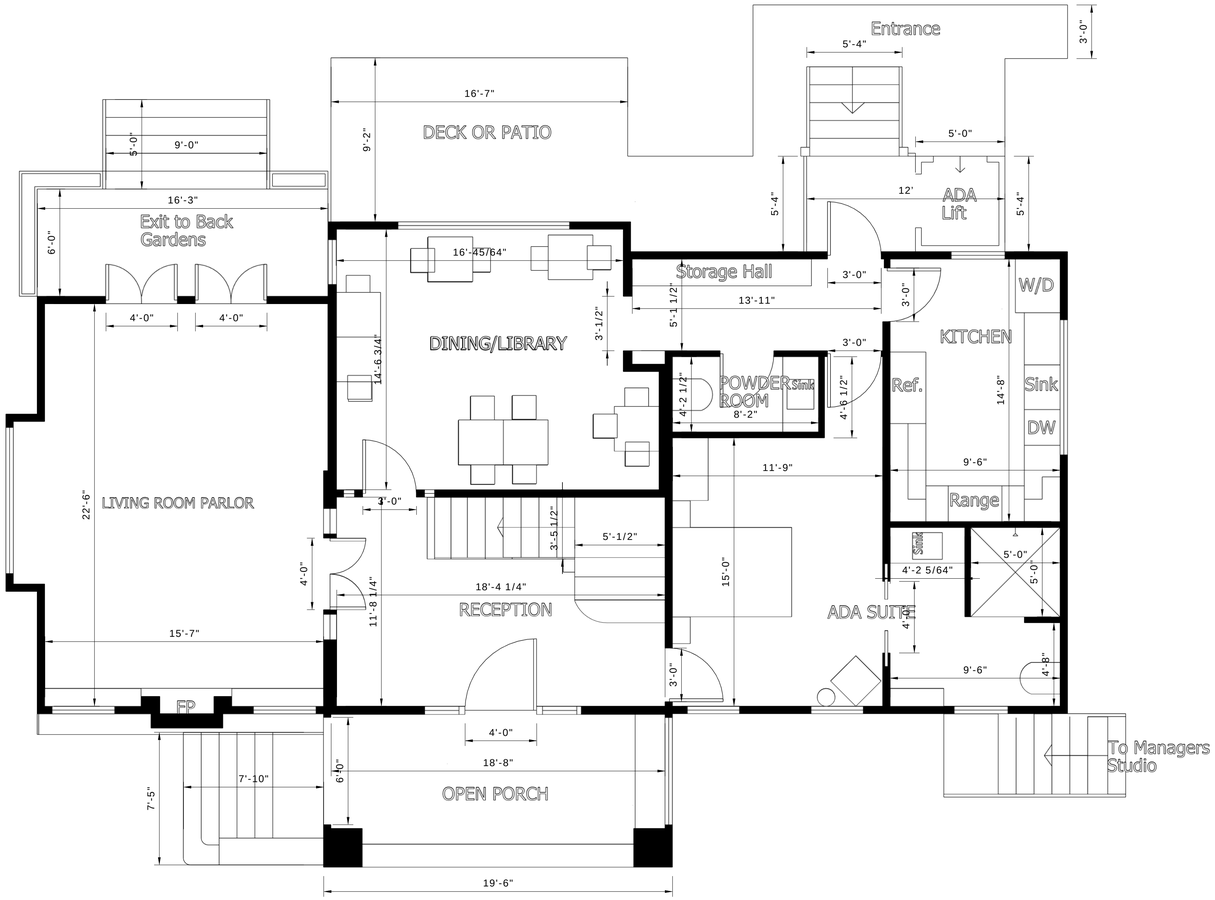
SHEET TITLE:
EXISTING FIRST AND SECOND FLOOR PLANS

A-0.4



FIRST FLOOR FLOOR PLAN

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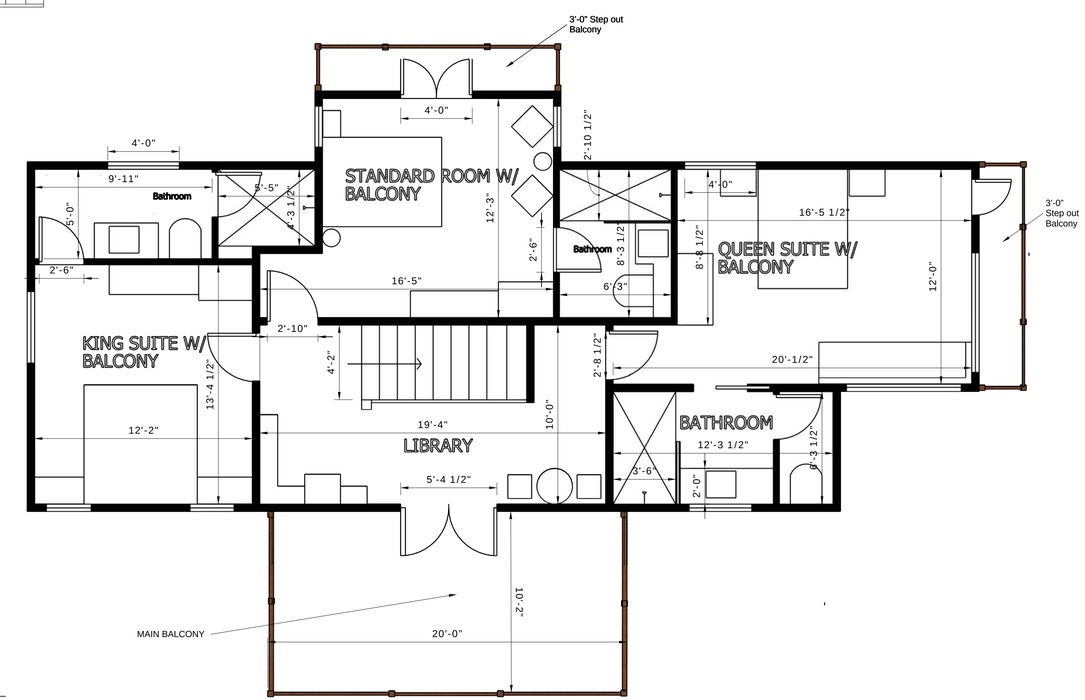

SECOND FLOOR FLOOR PLAN

scale: <1/4"=1'-0">

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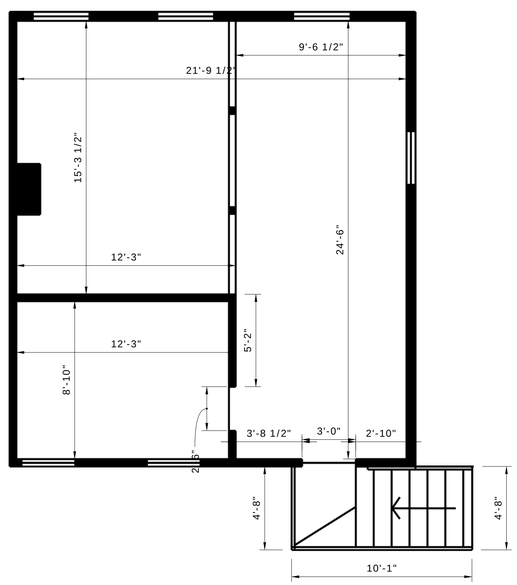
SHEET TITLE:
PROPOSED FIRST AND SECOND FLOOR PLANS

A-0.5



Basement Existing Floor Plan
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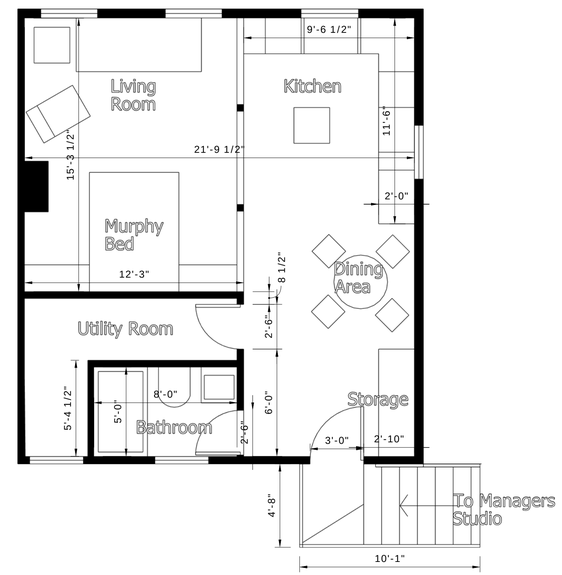

Basement Proposed Floor Plan
scale: <1/4"=1'-0">

NOTE: CEILING HEIGHT 84"

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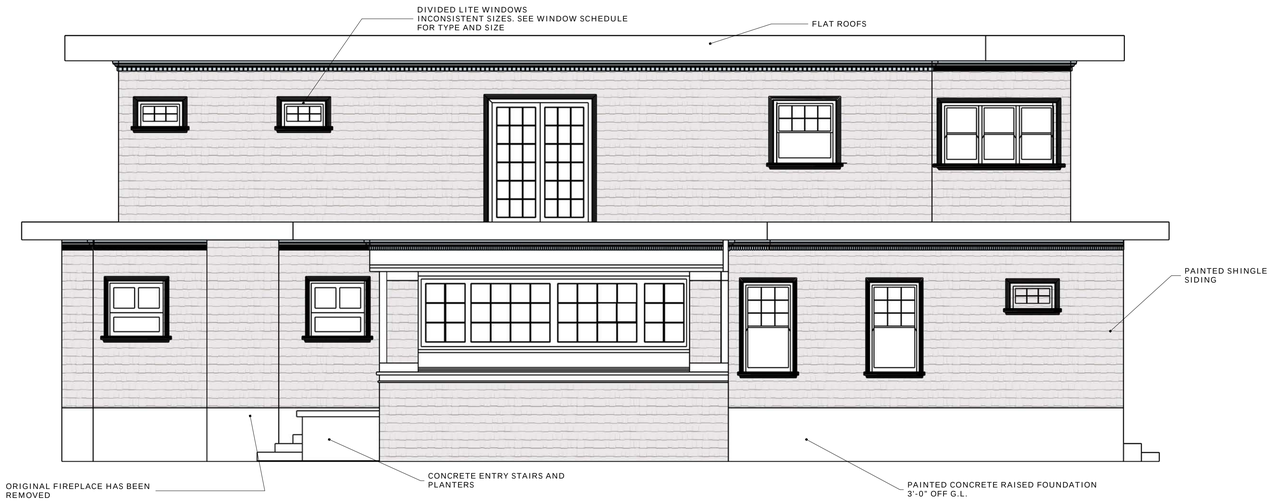
SHEET TITLE:
EXISTING DAYLIGHT BASEMENT AND PROPOSED STUDIO

A-0.6



NORTH ELEVATION

scale: <1/4" = 1'-0">

WEST ELEVATION

scale: <1/4" = 1'-0">

EAST ELEVATION

scale: <1/4" = 1'-0">

SOUTH ELEVATION

scale: <1/4" = 1'-0">

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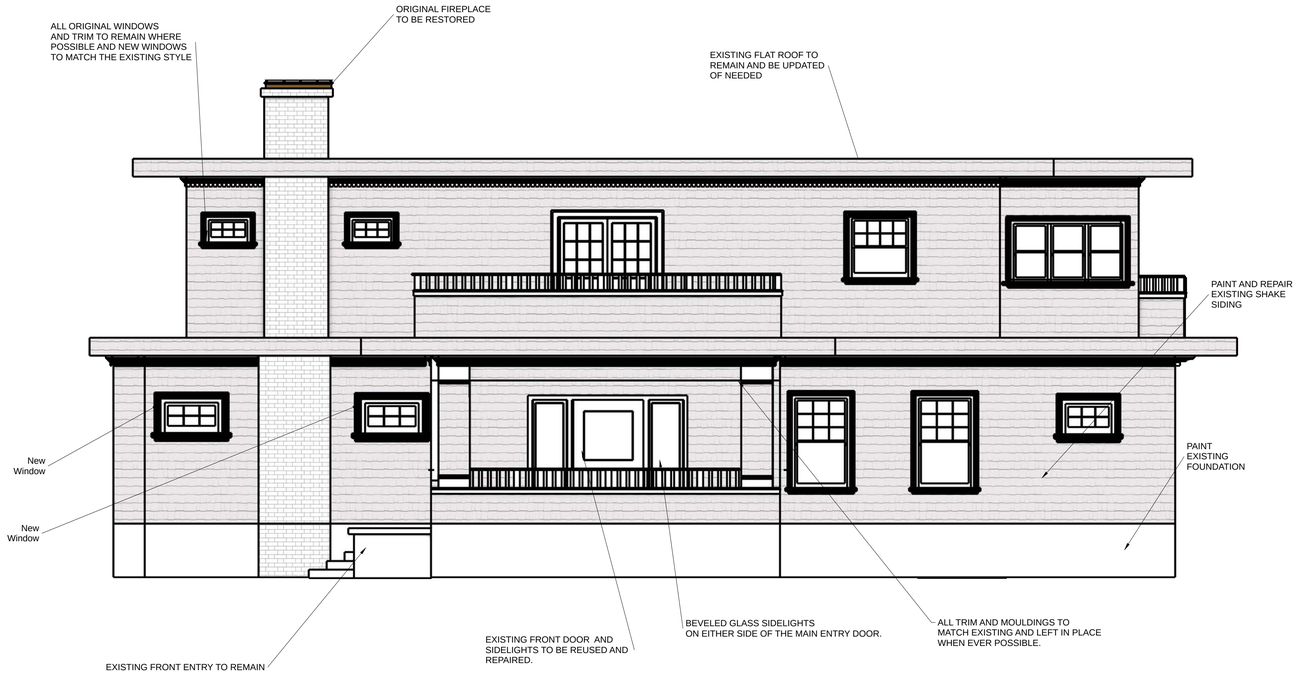
SHEET TITLE:
EXISTING EXTERIOR
ELEVATIONS

A-0.7



NORTH ELEVATION

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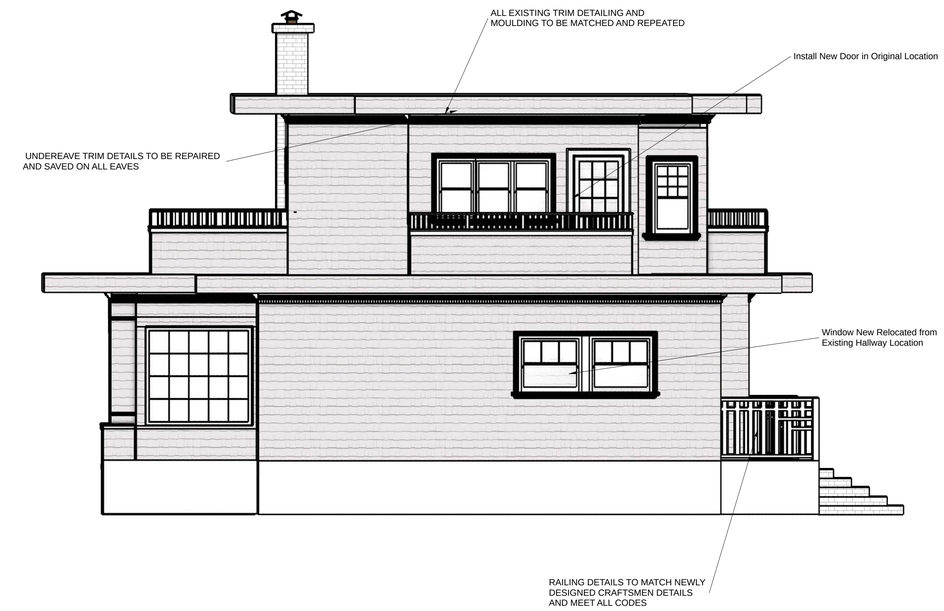
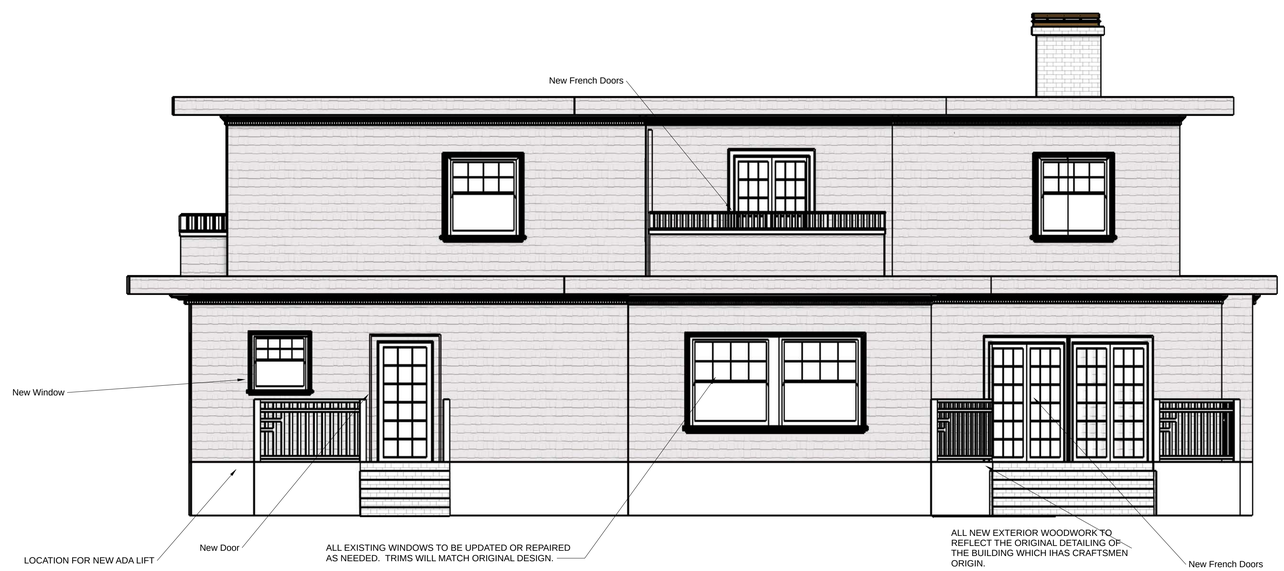


WEST ELEVATION

scale: <1/4" = 1'-0">

EAST ELEVATION

scale: <1/4" = 1'-0">



SOUTH ELEVATION

scale: <1/4" = 1'-0">

NOTE: WINDOWS AND DOORS ARE EXISTING UNLESS NOTED AS NEW

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SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

A-0.8

View from Second Street, Napa CA

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SHEET TITLE:
RENDERING OF PROPOSED EXTERIOR CHANGES

A-0.9

View from Jefferson Street, Napa CA

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RENDERING OF PROPOSED EXTERIOR CHANGES

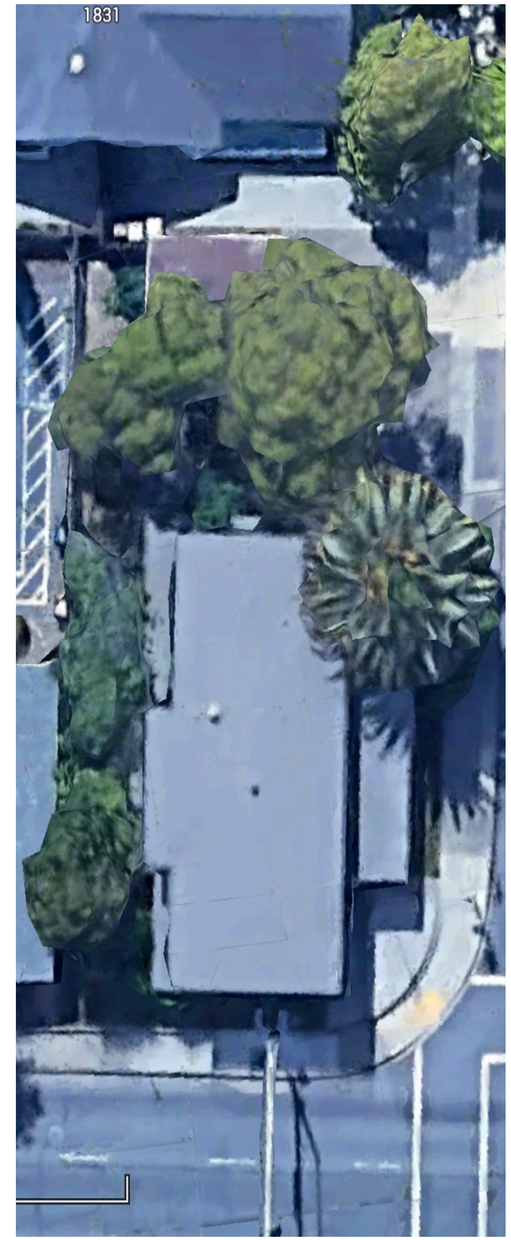
A-10

SECOND ST. NORTH VIEW

CORNER OF JEFFERSON ST. AND SECOND NORTH-EAST VIEW

JEFFERSON ST. EAST VIEW

SECOND ST. NORTH-WEST VIEW



GOOGLE EARTH SITE PLAN

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SHEET TITLE:
PROJECT PHOTO REFERENCES-EXISTING

A-11

SECOND ST. NORTH-WEST CORNER VIEW

SOUTH VIEW

SECOND ST. WEST VIEW

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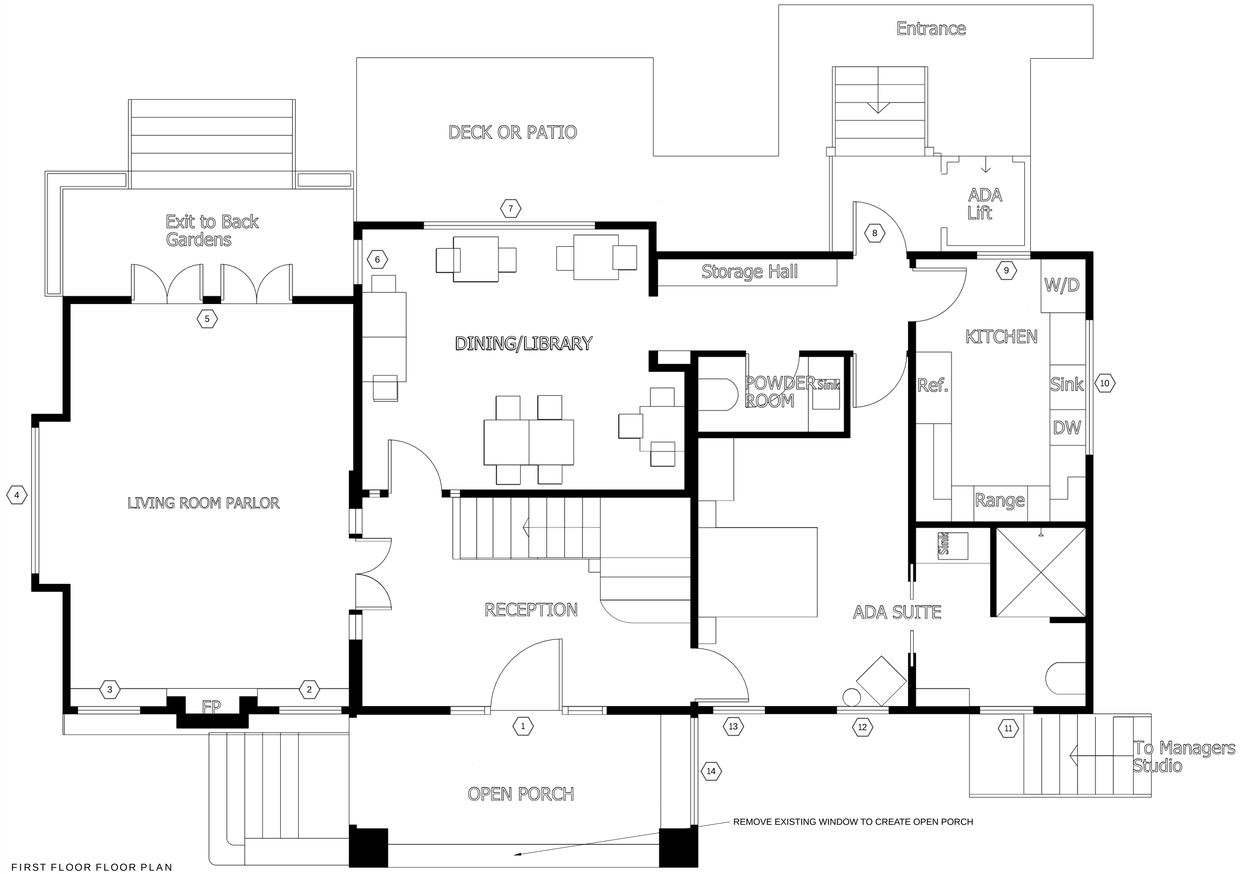
SHEET TITLE:
PROJECT PHOTO REFERENCES-EXISTING

A-12



FIRST FLOOR FLOOR PLAN

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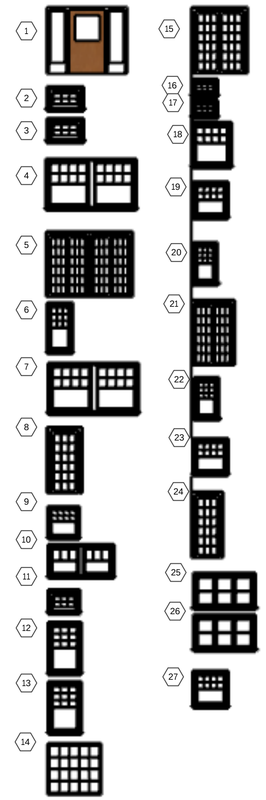


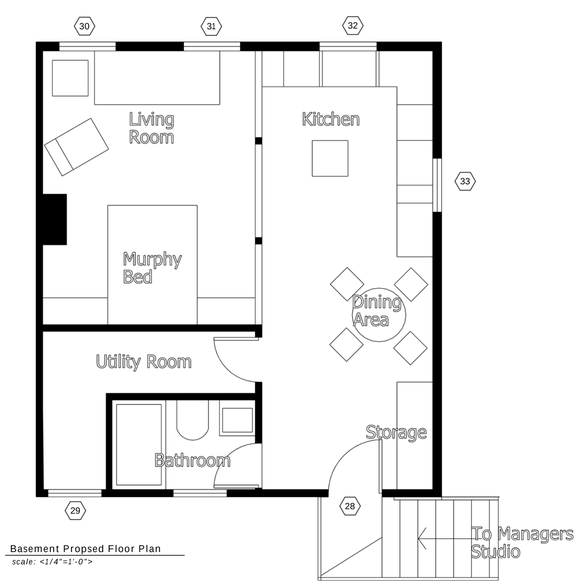
PROPOSED WINDOW AND DOOR SCHEDULE
ALL WINDOWS ARE WOOD FRAMED

	TYPE	SIZE	REMARKS	ORIGINAL	REMARKS
1	FRONT DOOR WITH SIDELIGHTS	8'5"W X 6'11" H		YES	WOOD WITH BEVEL GLASS
2	DIVIDED LITE SLIDER	37"W X 24" H	48" OF	NO	NEVER ORIG
3	DIVIDED LITE SLIDER	37"W X 24" H	48" OF	NO	NEVER ORIG
4	DOUBLE HUNG	97" W X 60" H	24" OF	YES	RELOCATED
5	FRENCH DOORS DIVIDED LITES	PAIR 4' W X 6'8"H		NO	USE OLD DOORS
6	DOUBLE HUNG	30" W X 60" H	27" OF	YES	
7	DOUBLE HUNG	114" W X 60" H	24" OF	YES	
8	DIVIDED LITE DOOR	3'W X 6'8"H		NO	NEW WOOD DOOR
9	DOUBLE HUNG	42" W X 41" H	40" OF	NO	NEW WOOD DOOR
10	DOUBLE HUNG	90" W X 38" H	40" OF	YES	RELOCATED
11	FIXED DIVIDED LITE	36" W X 23 1/2" H	60" OF	YES	
12	DOUBLE HUNG-TOP DIVIDED LITE	35" W X 60" H	24" OF	YES	
13	DOUBLE HUNG-TOP DIVIDED LITE	35" W X 60" H	24" OF	YES	
14	FIXED DIVIDED LITE	70 3/4" X 65 1/2"H	27" OF	YES	
15	FRENCH DOOR	5'-4 1/2" W X 6'8" H		YES	
16	FIXED DIVIDED LITE	30" W X 17" H	64" OF	YES	
17	FIXED DIVIDED LITE	30" W X 17" H	64" OF	YES	
18	DOUBLE HUNG-TOP DIVIDED LITE	48" W X 53" H	27" OF	YES	
19	DOUBLE HUNG-TOP DIVIDED LITE	42"W X 41"H	27" OF	NO	NEW WOOD DOOR
20	DOUBLE HUNG-TOP DIVIDED LITE	29.5" W X 49" H	27" OF	NO	NEW MATCH EXIST.
21	FRENCH DOORS DIVIDED LITE	4'-0" W X 6'-8" H		YES	
22	DOUBLE HUNG-TOP DIVIDED LITE	29.5" W X 49" H	27" OF	NO	NEW WOOD DOORS
23	DOUBLE HUNG-TOP DIVIDED LITE	42"W X 41"H	39"OF	NO	NEW MATCH EXIST.
24	DOOR DIVIDED LITE	30" W X 6'-8"" H		NO	NEW WOOD DOORS
25	BANK OF 3 DOUBLE HUNG	80"W X 41" H	39" OF	YES	
26	BANK OF 3 DOUBLE HUNG	77" W X 41" H	39" OF	YES	
27	DOUBLE HUNG- DIVIDED LITE	42"W X 41"H	39"OF	YES	
28	BASEMENT DOOR	36" X 6'8"		YES	
29-33	BASEMENT AWNING WINDOWS	34" X 17" H	67"	YES	

SECOND FLOOR FLOOR PLAN

scale: <1/4"=1'-0">

ALL BASEMENT WINDOWS ARE EXISTING
THERE ARE NO ELEVATIONS. ALL WINDOWS TO BE CLEANED
AND REPAIRED TO OPERABLE



Basement Propsed Floor Plan

scale: <1/4"=1'-0">

TYPICAL ORIGINAL CONSTRUCTION

scale: <1/8" = 1'-0">

*CONCEPTUAL DRAWINGS ONLY, NOT FOR CONSTRUCTION
ALL MEASUREMENTS MUST BE VERIFIED ON-SITE FOR ANY TRADES

SIGNATURE

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PROJECT:
THE JEFFERSON
845 JEFFERSON ST.
NAPA, CA 94559

ISSUE
6-2-2026

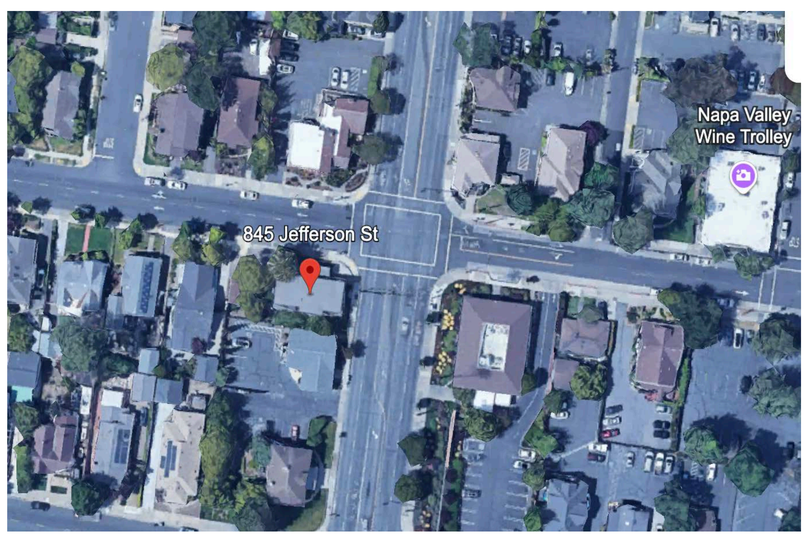
DRAWN BY
B. ROWE

SHEET TITLE:
WINDOW AND DOOR SCHEDULE

A-13

SW Corner Street View

Neighboring Property to the South



VICINITY MAP **Google Earth**

N

Neighboring Property to the West

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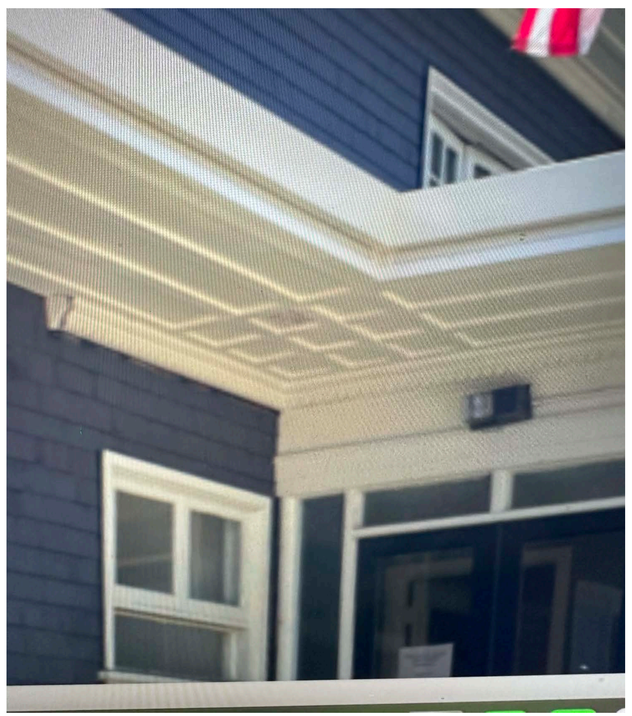
SHEET TITLE:
SITE AND ADJACENT PROPERTIES

A-14

HISTORICALREFEREBCE DETAIL



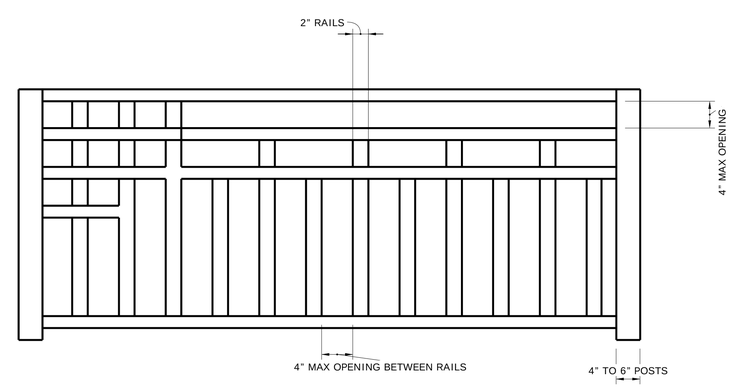
HISTORICAL STILL EXISTING EVE DETAIL

UPPER BALCONY LOW WALL WITH RAILING DESIGN

DETAIL TO REPEAT HISTORICAL DESIGN OF THE HOME WITH AN ADDED WOODEN RAILING TO BEST MEET CURRENT HEIGHT REGULATIONS.

LOWER LEVEL BACK OF HOUSE RAILINGS

ACCENT DETAIL ONLY ON CORNERS OF RAILINGS TO REPEAT HISTORICAL EXISTING DESIGN ON THE EVES.



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6-2-2026

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B. ROWE

SHEET TITLE:
RAILING DESIGN AND ARCHITECTURAL DETAILS

A-15

A-16

HISTORICAL PHOTO
FOR REFERENCE

ISSUE
6-2-2026

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