

2013 Restoration Scope of Work: Paul Kelley Architect.

Remodel of existing two-story Victorian farmhouse. The c; 1895 structure was individually listed on the City of Napa Historic Resources Inventory list with a Map Score of 2.

The existing first floor residence with second story apartment was converted back into a single-family residence. The Exterior rear stair was removed, and a new interior staircase was added in one of the existing bedrooms. A cellar was added to the interior of the home. The Front Façade was not Altered.

The roof was reframed with two new gables on the east and west elevations to match the existing north gable with scallop shingles.

The home was extensively structurally strengthened and straightened.

Nine original double hung windows were faithfully restored.

All Electrical, Mechanical and Plumbing systems have been installed.

The Reconfigured Residence is a 3-Bedroom, 3-Bath Home.

Landscape restoration, Fencing and Gates: Julianna Inman Architect

Arborist: Bill Pramuk

Thank You for Your Consideration of our Request, and we invite you for a tour of our home and garden.

Sincerely,
Tom and Jeanne Andrews



A Residential Remodel for: Tom & Jeanne Andrews

2165 Lone Oak Avenue, Napa, CA 94558

APN: 042-210-012-000

APPROVED

CITY OF NAPA
BUILDING DIVISION

APPROVAL OF THIS PLAN DOES NOT AUTHORIZE
OMISSIONS OR DEVIATIONS FROM APPLICABLE
REGULATIONS AND ARE SUBJECT TO FIELD INSPECTION.
APPROVED PLANS SHALL BE AVAILABLE ON THE
PROJECT SITE AT TIME OF INSPECTION.

See Red Notes
Sheets A7.10 + E2.10

CITY OF NAPA

PLANS APPROVED SIGNATURE DATE

BUILDING 1/14/14

PLANNING 1/16/14

ENGINEERING

FIRE

WATER

STORMWATER

APPROVED PLANS & SPECIFICATIONS TO REMAIN ON
JOB UNTIL COMPLETION

ATTACHMENT 2

PAUL KELLEY
ARCHITECT
1436 Second Street, No. 162, Napa, CA 94559
phone 707.257.1148 fax 707.266.1027
www.paulkelleyarchitecture.com

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Architect and have been prepared specifically for this
project. These drawings are not to be used for any
other project, by any other entity or in another location.
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Consultant:

MILLS
ACT
APPLICATION
AUGUST
2023

ABBREVIATIONS

&	AND	EXP JT	EXPANSION JOINT	MTL	METAL	T	TREAD
@	ANGLE	EXT	EXTERIOR			TB	TOWEL BAR
1	AT	FA	FIRE ALARM	(N)	NEW	TEL	TELEPHONE
2	CENTERLINE	FAU	FORCED-AIR UNIT	NEC	NATIONAL ELECTRICAL	TEMP	TEMPERED
3	CHANNEL	FD	FLOOR DRAIN	CODE		TAG	TONGUE & GROOVE
4	DIAMETER/ROUND	FEN	FOUNDATION	NFPA	NATIONAL FIRE	THK	THICK
5	PARALLEL	FE	FIRE EXTINGUISHER	PROTECTION	ASSOCIATION	TOC	TOP OF CONCRETE
6	PERPENDICULAR	FEC	FIRE EXTINGUISHER	NUMBER	NOT IN CONTRACT	TOW	TOP OF WALL
7	NUMBER	FF	FINISH FLOOR	NIC	NOT IN CONTRACT	TV	TELEVISION
8		FIN	FINISH	NO	NO	TYP	TYPICAL
9		FIN	FINISH	NTS	NOT TO SCALE		
10		FLR	FLOOR	OF	OVER	UN	UNLESS OTHERWISE
11		FLOR	FLOORSCENT			NOTED	
12		FDC	FACE OF CONCRETE				
13		FDF	FACE OF FINISH				
14		FOS	FACE OF STUD				
15		FOM	FACE OF MASONRY				
16		FP	FIREPROOF				
17		FTS	FLOOR SINK				
18		FT	FOOTING				
19		FURR	FURRING				
20		FUT	FUTURE				
21		G	GAS				
22		GALV	GALVANIZED				
23		GB	GRAB BAR				
24		GD	GARAGE DISPOSAL				
25		GEN	GENERAL				
26		GFCI	GROUND FAULT CIRCUIT				
27		INT	INTERCEPTOR				
28		GR	GRADE				
29		GSM	GALVANIZED				
30		GYP	SHEET METAL				
31		HDR	HEADER				
32		HDR	HANGER				
33		HORIZ	HORIZONTAL				
34		HR	HOUR				
35		HT	HEIGHT				
36		HW	HOT WATER				
37		ID	INSIDE DIMENSION				
38		IN	INCH				
39		INSUL	INSULATION				
40		INT	INTERIOR				
41		JAN	JANITOR				
42		JST	JOIST				
43		JT	JOINT				
44		KIT	KITCHEN				
45		LAB	LABORATORY				
46		LAM	LAMINATE				
47		LAV	LAVATORY				
48		LB	POUND				
49		LT	LIGHT				
50		MACH	MACHINE				
51		MAINT	MAINTENANCE				
52		MAX	MAXIMUM				
53		MC	MEDICINE CABINET				
54		MECH	MECHANICAL				
55		MEMB	MEMBRANE				
56		MFR	MANUFACTURER				
57		MIN	MINIMUM				
58		MIR	MIRROR				
59		MISC	MISCELLANEOUS				
60		MO	MASONRY OPENING				

PROJECT NOTES

APPLICABLE BUILDING CODES:
CALIFORNIA CODE OF REGULATIONS TITLE 24

- PART 1: 2010 BUILDING STANDARDS ADMINISTRATIVE CODE
PART 2: 2010 CALIFORNIA BUILDING CODE
PART 2.5: 2010 CALIFORNIA RESIDENTIAL CODE
PART 3: 2010 CALIFORNIA ELECTRICAL CODE
PART 4: 2010 CALIFORNIA MECHANICAL CODE
PART 5: 2010 CALIFORNIA PLUMBING CODE
PART 6: 2010 CALIFORNIA ENERGY CODE
PART 7: 2010 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
PART 8: 2010 CALIFORNIA HISTORICAL BUILDING CODE
PART 9: 2010 CALIFORNIA FIRE CODE
PART 10: 2010 CALIFORNIA EXISTING BUILDING CODE
PART 11: 2010 CALIFORNIA GREEN BUILDING CODE
PART 12: 2010 CALIFORNIA REFERENCED STANDARDS CODE

NOTES:

- THE CONTRACTOR SHALL PROVIDE WORKMAN'S COMPENSATION INSURANCE, LIABILITY INSURANCE AND A PERFORMANCE BOND IN THE AMOUNT OF THE COST OF CONSTRUCTION.
- THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIAL FOR A MINIMUM OF ONE YEAR. EXCEPTION: ROOF SHALL BE GUARANTEED FROM LEAKAGE FOR A MINIMUM OF TWO YEARS OR AS SPECIFIED.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY PKA OF DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY EASEMENTS (PUBLIC OR PRIVATE) FOR SEWER, WATER, ELECTRICAL, TELEPHONE, CABLE T.V. AND GAS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITY DATA AND LOCATIONS PRIOR TO ANY WORK. ON-SITE UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY OR UTILITY COMPANY.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE THE DRAWINGS. WHERE DISCREPANCIES OCCUR, NOTIFY PAUL KELLEY ARCHITECT FOR CLARIFICATION.
- ACCEPT NO INK OR PENCIL CORRECTIONS OR SUBSTITUTIONS TO THESE DRAWINGS WITHOUT THE ARCHITECT'S WRITTEN SIGNATURE. PAUL KELLEY ARCHITECT SHALL BE HELD HARMLESS FOR ALL CHANGES NOT IN CONFORMANCE WITH THIS PROVISION.
- ALL USERS OF THESE DRAWINGS AGREE BY USING THESE DRAWINGS TO HOLD PAUL KELLEY ARCHITECT HARMLESS FOR ANY AND ALL WORK THAT DOES NOT CONFORM TO REQUIREMENTS AND MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODES, LOCAL ORDINANCES, AND ACCEPTABLE STANDARDS.
- THESE DRAWINGS ARE THE PROPERTY OF PAUL KELLEY ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY WORK OTHER THAN AT THE LOCATION SHOWN ON THESE PLANS.
- PAUL KELLEY ARCHITECT SHALL HAVE NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- PAUL KELLEY ARCHITECT ASSUMES NO RESPONSIBILITY FOR PERFORMANCE OF PRODUCTS OR MATERIALS SPECIFIED.
- THE CONTRACTOR SHALL FURNISH ALL SYSTEMS COMPLETE AND WITH ALL ACCESSORIES REQUIRED FOR INSTALLATION IN ACCORDANCE WITH EXCELLENT AND ACCEPTABLE TRADE PRACTICE.

- Unless light fixtures are existing historical or replicas, energy code requirements for lighting shall be met.
- * At least 50% of the wattage of kitchen lighting shall be high efficacy.
 - * All bathroom and laundry room lighting shall be high efficacy or controlled by an occupant sensor with no automatic-on or stay-on option.
 - * Rooms other than kitchens, bathrooms, laundry room, etc. shall have high efficacy lighting or shall be controlled by an occupant sensor with no automatic-on or stay-on option or shall be controlled by a dimmer.
 - * Exterior building mounted lights shall be high efficacy or shall be controlled by a motion sensor with integral photo control.

CONTACTS

OWNER

Tom & Jeanne Andrews
2165 Lone Oak Avenue
Napa, CA 94558
(707) 974-3221
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STRUCTURAL ENGINEER

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SHEET INDEX

ARCHITECTURAL

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STRUCTURAL

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PROJECT DATA

Assessor Parcel Number(s):	042-210-012-000
Project Address:	2165 Lone Oak Avenue Napa, CA 94558
Occupancy:	R-3
Construction Type:	VB non-sprinkled
Lot Area:	48,651 sq. ft.
Existing Floor Area:	
First Floor	1,308 sq. ft.
Second Floor	932 sq. ft.
Total Existing Residence	2,240 sq. ft.
Proposed Floor Area:	
New First Floor	1,322 sq. ft.
New Second Floor	876 sq. ft.
Total Proposed Residence	2,198 sq. ft.
Applicable Building Code:	2010 CBC Part 8 State Historic Building Code (Individually listed on City's HRI)

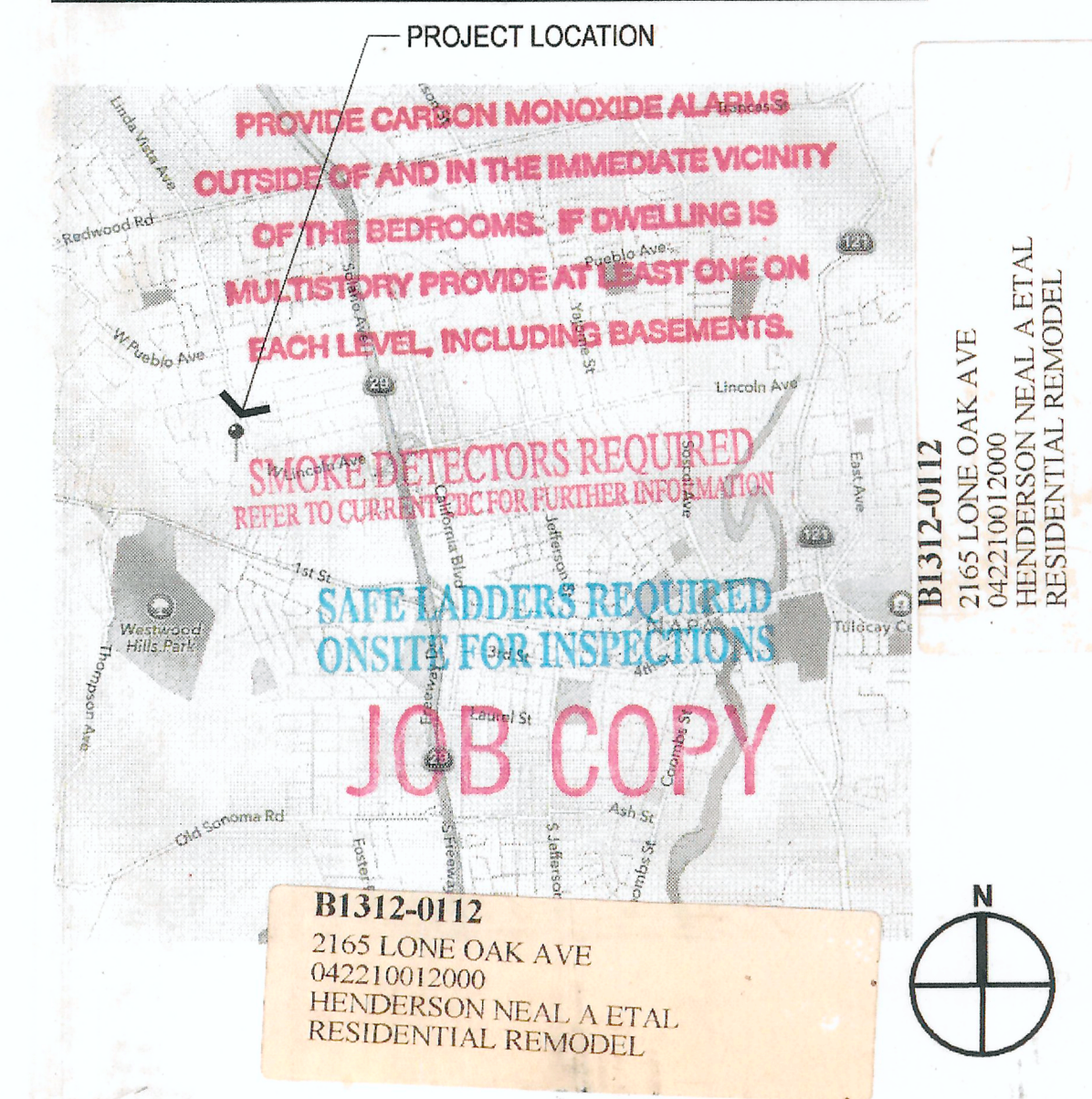
SCOPE OF WORK

Remodel of existing two-story Victorian farmhouse. This c. 1895 structure is individually listed on the City of Napa Historic Resources Inventory list with a Map Score of 2.

The existing first floor residence with second story apartment will be converted back into a single family residence. The exterior rear stair will be removed. The roof will be reframed to allow more headroom in the upper level. The front facade will not be altered.

The reconfigured residence will be 3-bedroom.

VICINITY MAP



SYMBOLS

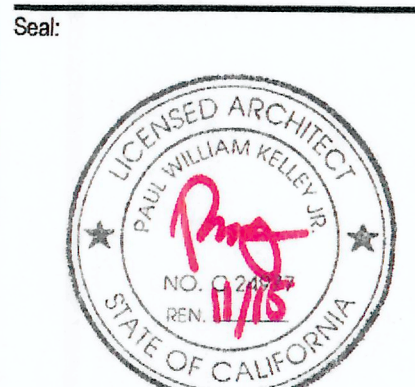
(A)	GRID LINE	(A)	SECTION
(I)	STORAGE	(A)	SECTION IDENTIFICATION
(I)	ROOM IDENTIFICATION	(A)	SECTION LOCATION
(I)	ROOM NAME	(A)	EXTERIOR ELEVATION
(I)	ROOM NUMBER	(A)	ELEVATION IDENTIFICATION
(I)	DOOR NUMBER	(A)	ELEVATION LOCATION
(I)	REFER TO DOOR SCHEDULE	(A)	INTERIOR ELEVATION
(A)	WINDOW NUMBER	(A)	ELEVATION IDENTIFICATION
(A)	REFER TO WINDOW SCHEDULE	(A)	ELEVATION LOCATION
(A)	WALL TYPE	(A)	DETAIL
(A)	REFER TO WALL SCHEDULE	(A)	DETAIL IDENTIFICATION
(A)	REVISION	(A)	DETAIL LOCATION
(A)	REVISION NUMBER		
(A)	AREA OF REVISION		

PAUL KELLEY ARCHITECT
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Consultant
MILLS ACT
TREE LAY
+ GARAGE
+ DEMO FOR
ADU

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Tom & Jeanne Andrews
2165 Lone Oak Avenue, Napa, CA 94558
APN: 042-210-012-000

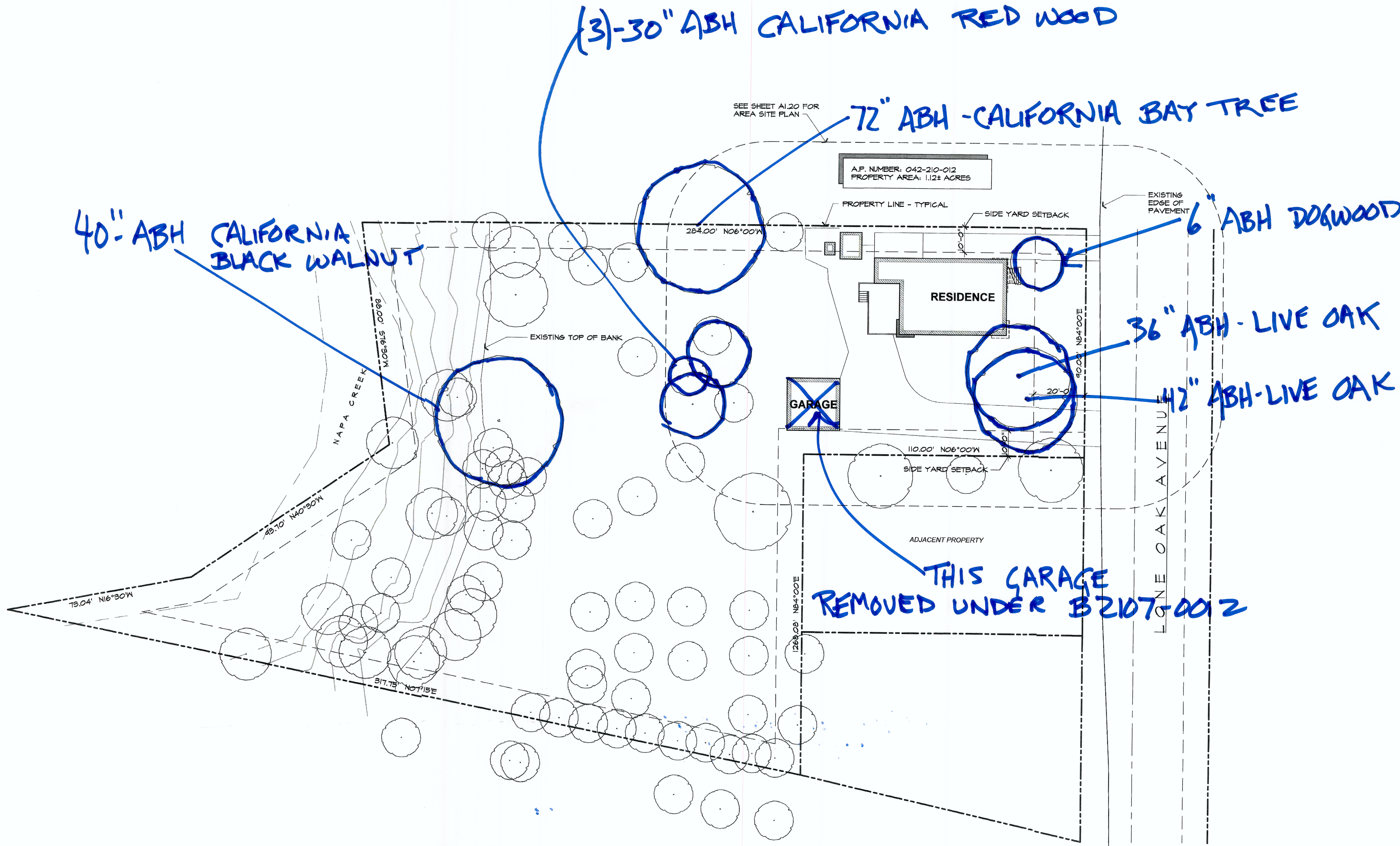


REVISIONS	
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Date: December 23, 2013
Project No: 130801
Sheet Title:

SITE PLAN

Sheet #:
A1.10



THIS GARAGE
REMOVED UNDER B2107-002

HERITAGE TREE LAYOUT
8-4-2023

JOB COPY

A SITE PLAN
SCALE: 1" = 20'-0"

REVISIONS		BY
No.	Description	Date
1	PLAN CHECK 1	12.6.21

Wayne Holland & Associates
Planning, Architecture & Interior Design
1434 3rd Street, Suite "A"
Napa, California 94559
(707) 707-3833

OVERALL SITE PLAN

2165 LONE OAK

5-31-23
RENEWAL DATE

DRAWN
Author

CHECKED
WH

DATE
10/05/21

SCALE
As indicated

PLOT DATE
1/11/2022 3:54:52 PM

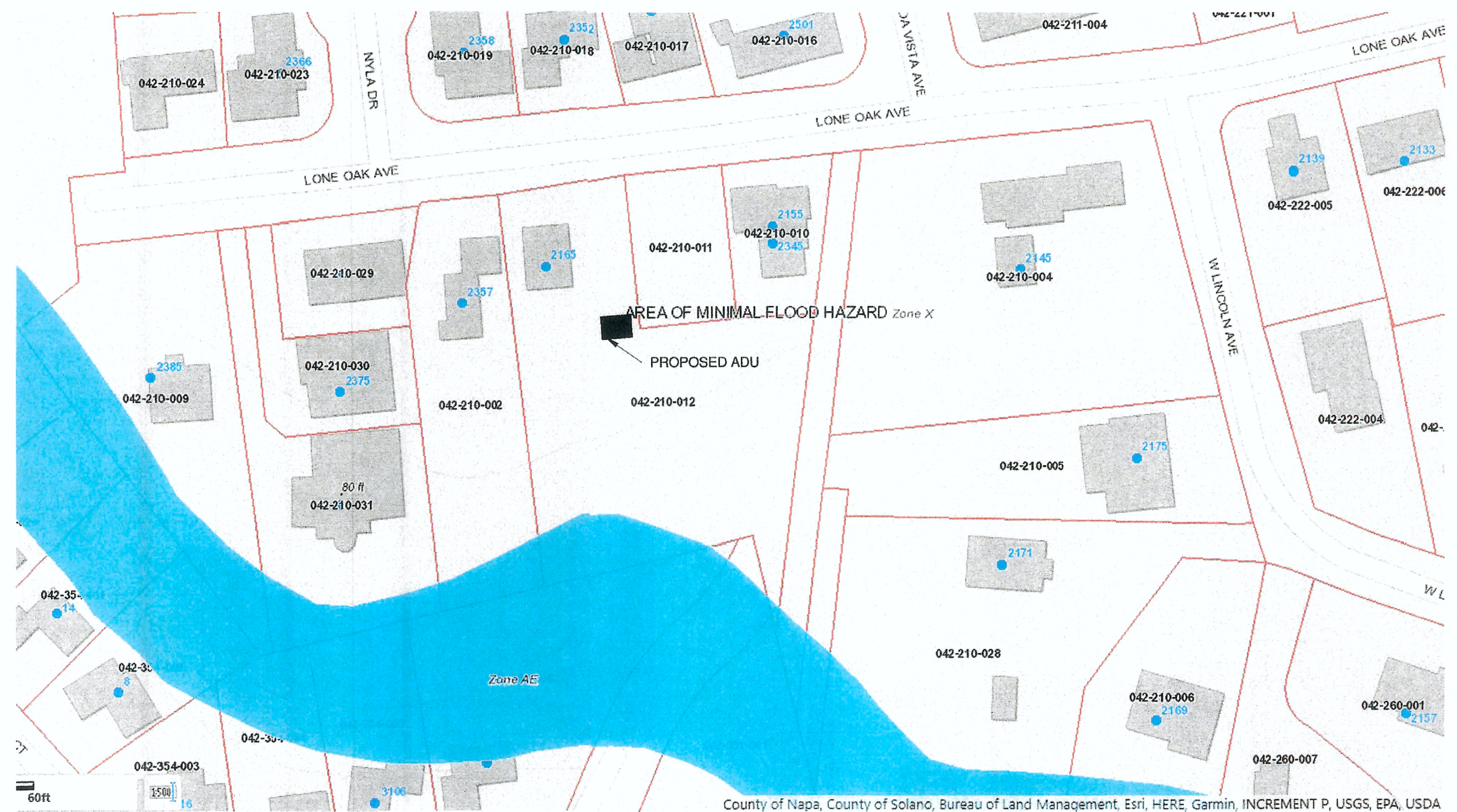
SHEET

A2.1

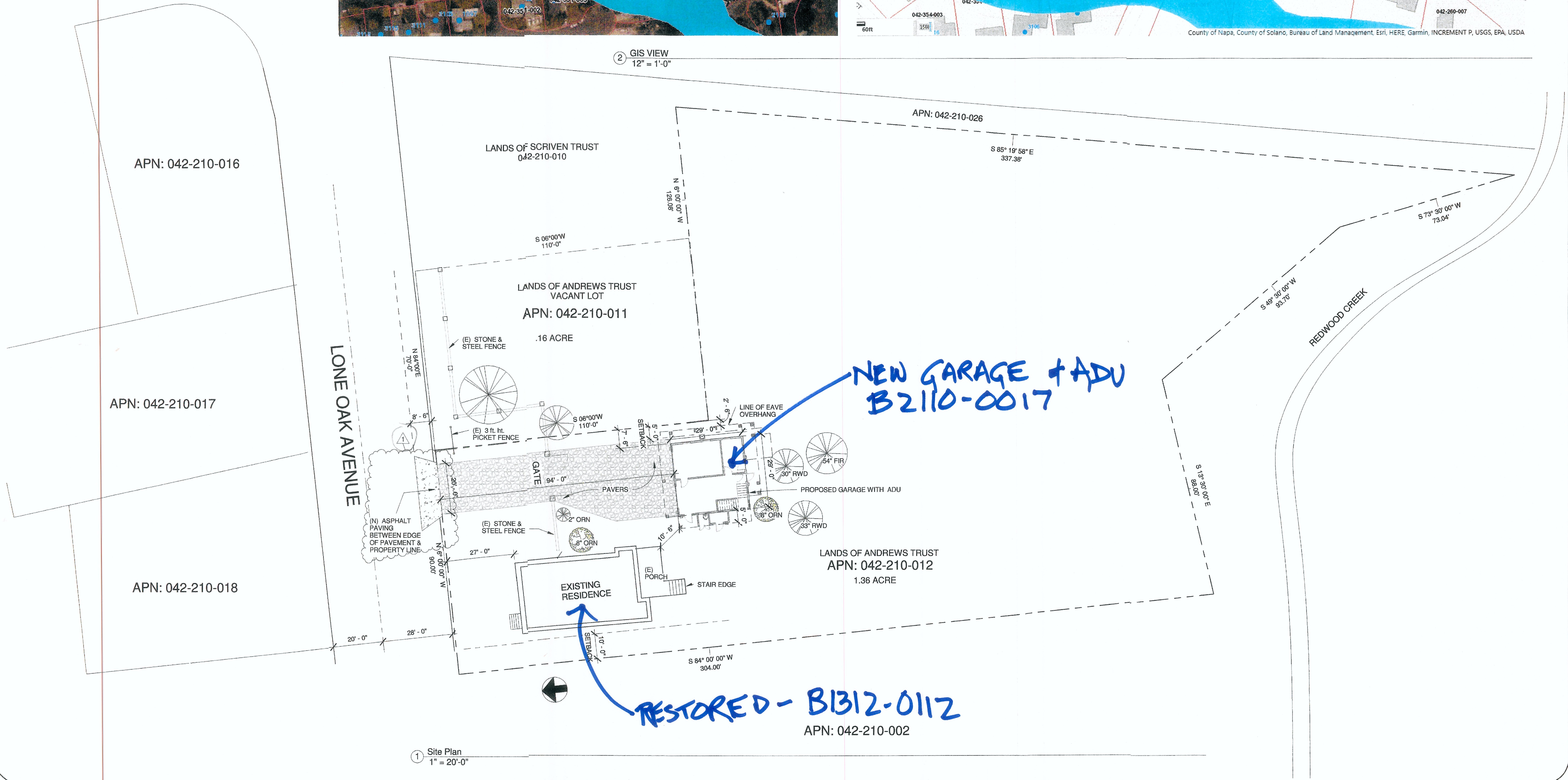
OF SHEETS



2 GIS VIEW
12" = 1'-0"



County of Napa, County of Solano, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



1 Site Plan
1" = 20'-0"