

GENERAL NOTES:

1.

OWNER/DEVELOPER::

BROOKFIELD BAY AREA HOLDINGS LLC
500 LA GONDA WAY, SUITE 100
DANVILLE, CA 94526
MANDI MISASI
(925)314-0451
2.

CIVIL ENGINEER:

CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
JUSTIN R DENKNOBLOUGH, P.E.
(925)866-0322
3.

ARCHITECT:

WOODLEY ARCHITECTURAL GROUP, INC
2943 PULLMAN ST. SUITE A
SANTA ANA, CA 92705
DEBRA FALESE
(949) 553-8919
4.

ASSESSORS PARCEL NO:

046-400-054-000
5.

SITE AREA:

2.25 ± ACRES (BLOCK 16)
2.25 ± ACRES (BLOCK 19)
2.24 ± ACRES (BLOCK 22)
6.74 ± ACRES
6.

DWELLING UNITS:

79 DWELLING UNITS
7.

DENSITY:

11.7 DU/AC
8.

GENERAL PLAN:

NAPA PIPE-MIXED USE- RESIDENTIAL-
WATERFRONT: AIRPORT COMMUNITY
(NP-MUR-W:AC)
9.

EXISTING LOTS:

3
- PROPOSED LOTS:

79
10.

EXISTING ZONING:

RESIDENTIAL MIXED-USE
11.

EXISTING USE:

VACANT
12.

PROPOSED USE:

RESIDENTIAL
13.

BENCHMARK:

DATUM--NAVD88
STANDARD STREET MONUMENT LOCATED AT THE
INTERSECTION OF KAISER ROAD AND SYAR WAY.
TOP OF DISK ELEVATION = 10.46 FEET (NAVD88).
THE ELEVATION IS DERIVED FROM POINT 1 OF THE
CITY OF NAPA CONTROL NETWORK AS SHOWN ON
THE RECORD OF SURVEY FILED APRIL 6, 2012, IN
BOOK 41 OF SURVEYS, AT PAGE 44, NAPA COUNTY
RECORDS. THE PUBLISHED ELEVATION FOR POINT 1
OF THE CITY OF NAPA CONTROL NETWORK IS
9.935'
(NAVD88).
(TO CONVERT TO NGVD29 = NAVD88 - 2.23')
14.

UTILITIES:

UTILITIES WITHIN THE PROPOSED DEVELOPMENT ARE
BOTH PUBLICLY & PRIVATELY OWNED AND
MAINTAINED.
PRIVATE: SANITARY SEWER, STORM DRAIN, WATER
PUBLIC: JOINT TRENCH
15.

EASEMENTS:

EXISTING EASEMENTS MAY REQUIRE VACATION OR
RELOCATION TO FACILITATE DEVELOPMENT. ALL
PROPOSED, EXISTING, RELOCATED AND VACATED
EASEMENTS TO BE SHOWN ON THE FINAL
SUBDIVISION MAP OR BY SEPARATE INSTRUMENT AS
NECESSARY.
16.

LANDSCAPING:

ALL LANDSCAPING WITHIN THE PROJECT BOUNDARY
WILL BE PRIVATELY OWNED AND MAINTAINED.
17.

FLOOD ZONE:

ZONE AE (AREAS WITHIN THE 100-YEAR
FLOODPLAIN, WITH BASE FLOOD ELEVATION).
REFER TO: FLOOD INSURANCE RATE MAP NUMBER:
06055C0519G
(DATED:AUGUST 3, 2016).
18.

DOMESTIC WATER:

CITY OF NAPA
19.

RECYCLED WATER:

NAPA SANITATION DISTRICT (NSD)
20.

STORM DRAIN:

CITY OF NAPA
21.

SANITARY SEWER:

NAPA SANITATION DISTRICT (NSD)
22.

ELECTRICITY/GAS:

PACIFIC GAS AND ELECTRIC (PG&E)
23.

TELEPHONE:

AT&T
24.

CABLE TV:

COMCAST
25.

WASTE DISPOSAL:

NAPA RECYCLING & WASTE SERVICES.
26.

SCHOOL DISTRICT:

NAPA UNIFIED SCHOOL DISTRICT
27.

FIRE:

CITY OF NAPA
28.

FINAL MAP:

THIS PROJECT MAY BE PHASED. MULTIPLE FINAL
MAPS MAY BE FILED ON THE LANDS SHOWN ON
THIS TENTATIVE MAP IN ACCORDANCE WITH ARTICLE
4, SECTION 66.456.1 OF THE SUBDIVISION MAP
ACT.
29.

DIMENSIONS:

ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT
TO THE FINAL SUBDIVISION MAP.



SITE PLAN

SCALE: 1" = 60'

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C2.0	LOTING PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY LAYOUT
C5.0	DEVELOPMENT PLAN
C6.0	EROSION CONTROL PLAN
C7.0	PRELIMINARY PARKING PLAN
C8.0	PRELIMINARY FIRE ACCESS PLAN
C9.0	PRELIMINARY FIRE ACCESS PLAN
C10.0	TRASH COLLECTION PLAN
C11.0	PRELIMINARY STORMWATER CONTROL PLAN

ABBREVIATIONS:

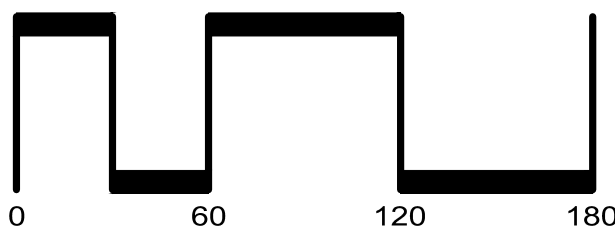
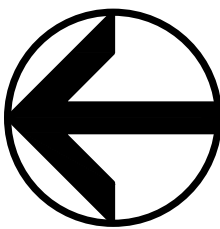
BD	BOUNDARY	PR	PROPOSED
BFP	BACKFLOW PREVENTOR	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL ELEVATION (AT FINISHED GRADE)	PV	PAVEMENT
CL	CENTERLINE	R	RADIUS
DW	DOMESTIC WATER	RET	RETAINING
D/W	DRIVEWAY	RIM	RIM ELEVATION
EVA	EMERGENCY VEHICLE ACCESS EASEMENT	R/W	RIGHT-OF-WAY
EL	ELEVATION	S	SLOPE
ESMT	EASEMENT	SD	STORM DRAIN
EX	EXISTING	SS	SANITARY SEWER
FF	FINISHED FLOOR ELEVATION	SSE	SANITARY SEWER EASEMENT
FG	FINISHED GRADE	SW	SIDEWALK
FS	FIRE SERVICE WATER	TBC	TOP OF BEVELED CURB
GR	TOP OF GRATE	TB	TOP OF 6" FLUSH CONCRETE BAND
HP	HIGH POINT	TC	TOP OF VERTICAL CURB
INV	INVERT ELEVATION	TW	TOP OF WALL ELEVATION (AT FINISHED GRADE)
LP	LOW POINT	TYP	TYPICAL
LS	LANDSCAPE	W	WATER
P	PAD ELEVATION	WM	WATER METER

LEGEND:

---	SUBDIVISION BOUNDARY
---	RIGHT OF WAY
---	LOT LINE
---	PROPOSED LIP OF GUTTER
---	PROPOSED TOP OF CURB
---	EXISTING SIDEWALK

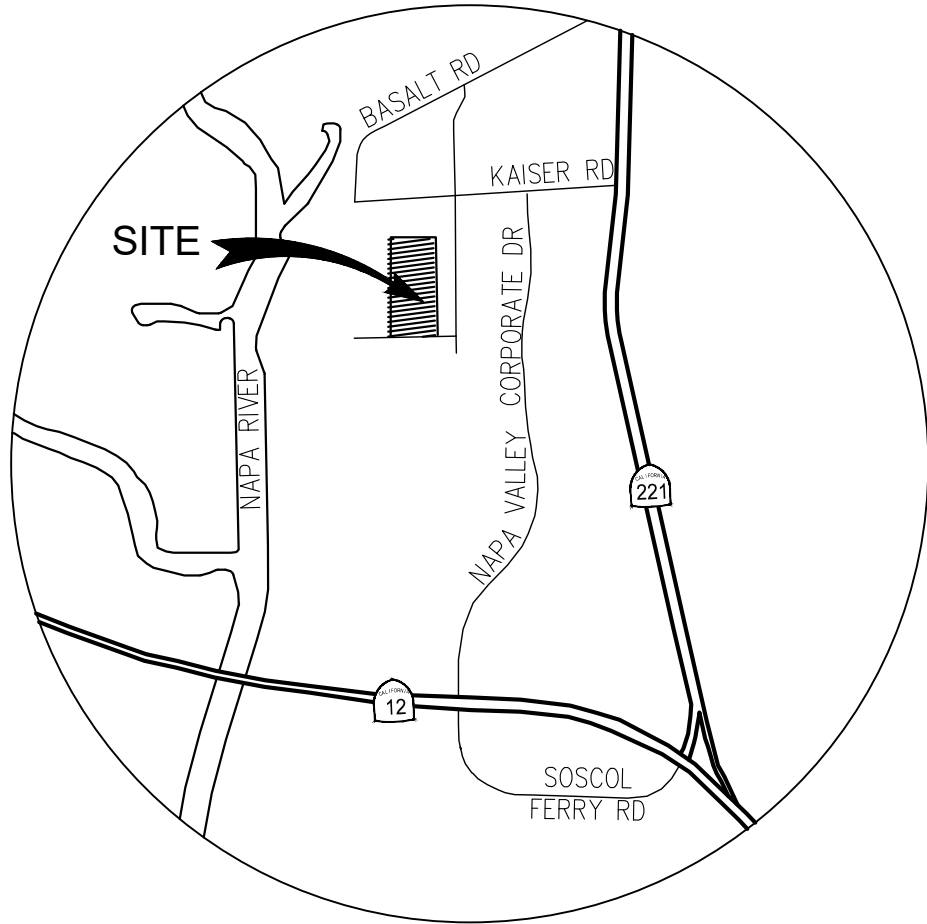
TENTATIVE MAP
COVER SHEET
NAPA PIPE BLOCKS 16, 19, & 22

CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 60' DATE: SEPTEMBER 30, 2022

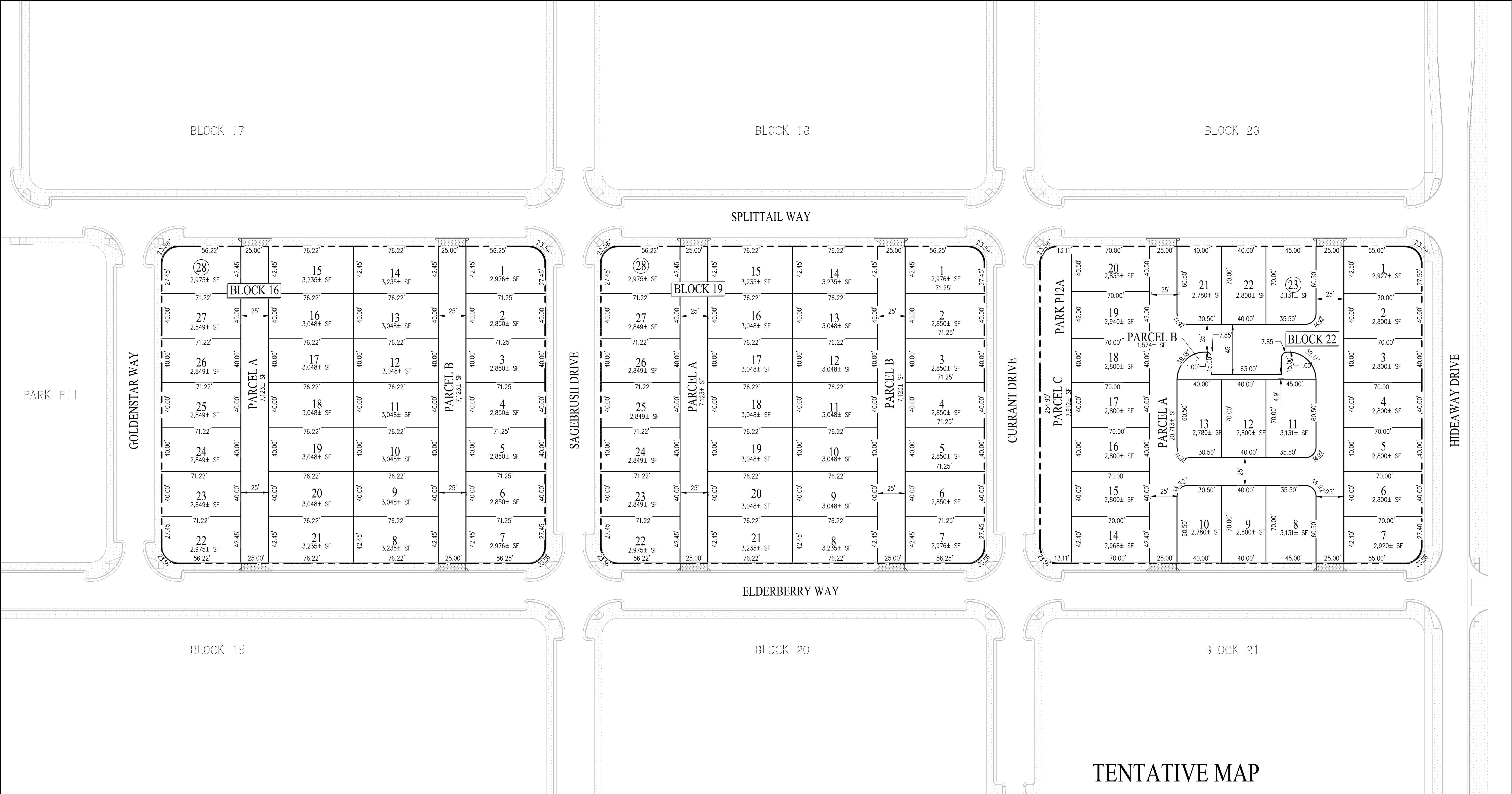


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ROSEVILLE (916) 788-4456
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SHEET NO.
C1.0
OF 11 SHEETS



VICINITY MAP
NOT TO SCALE

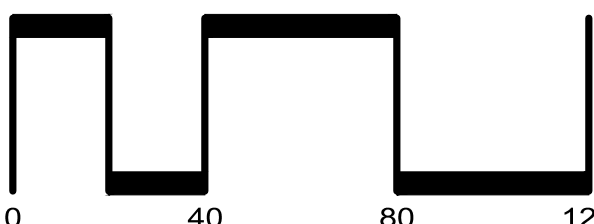
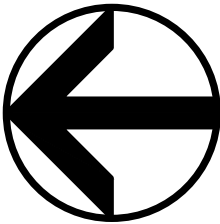


LEGEND:

- SUBDIVISION BOUNDARY
- ==== RIGHT OF WAY
- ==== LOT LINE
- ==== SIDEWALK

TENTATIVE MAP
LOTING PLAN
NAPA PIPE BLOCKS 16, 19, & 22

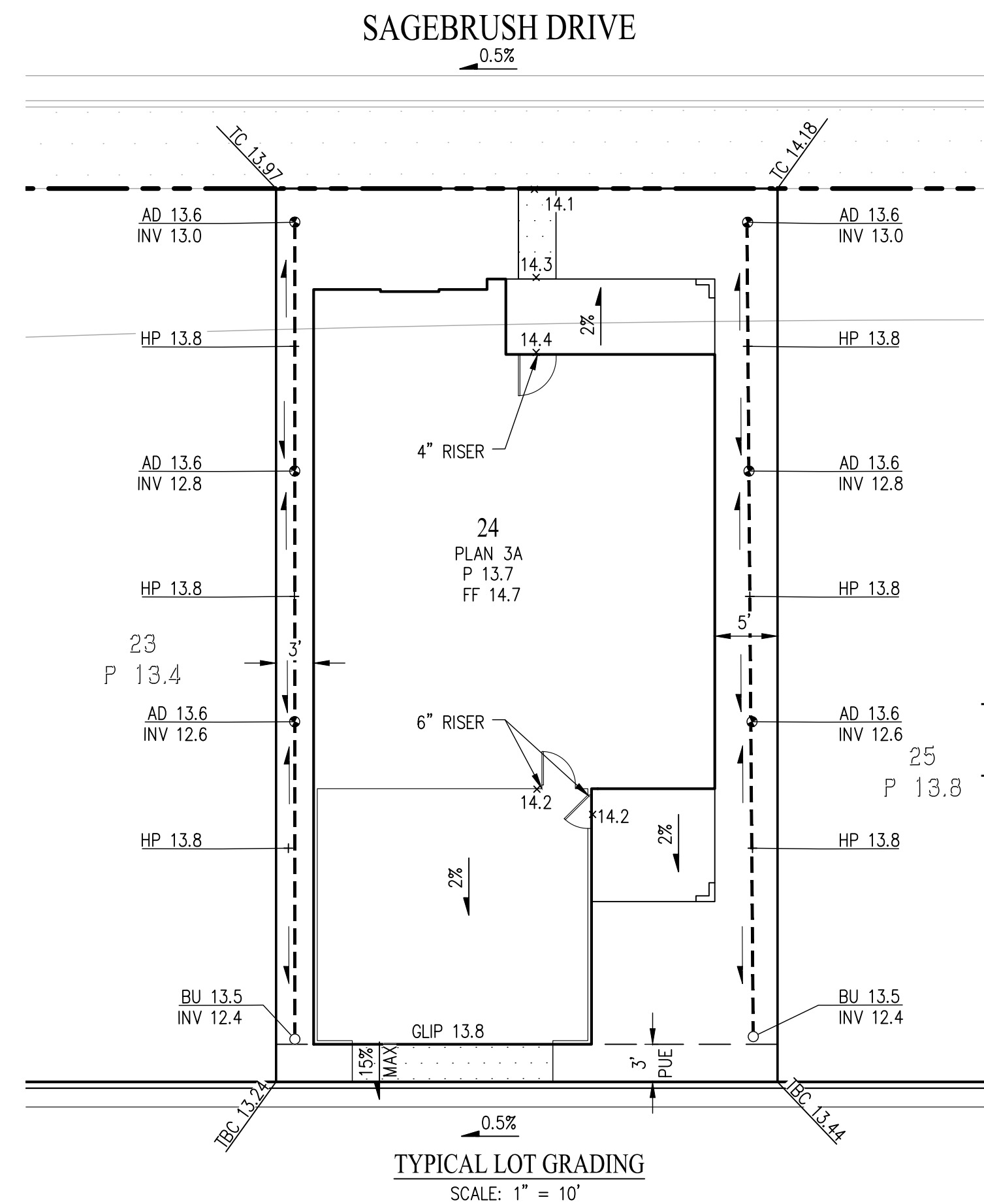
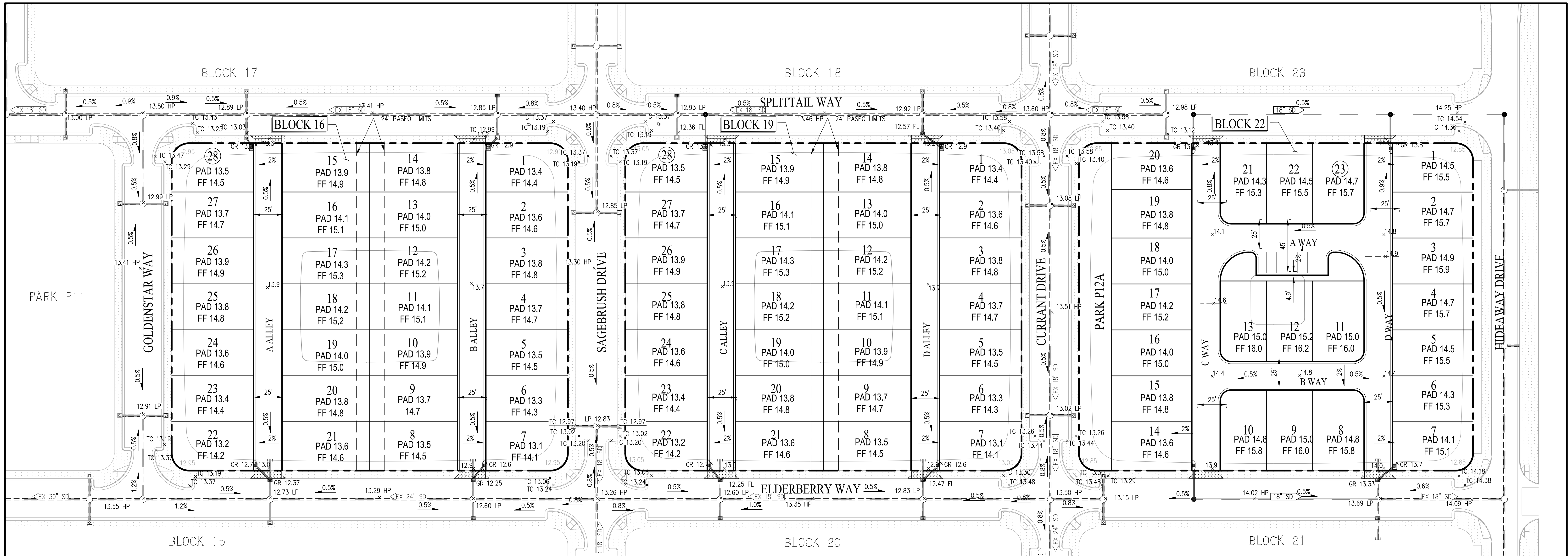
CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



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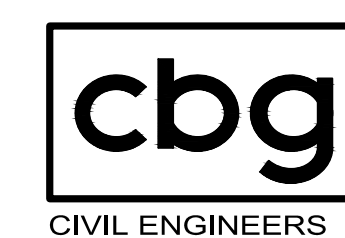
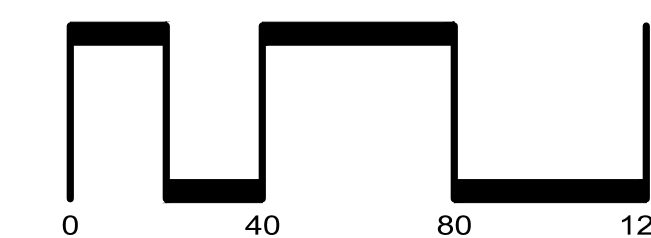
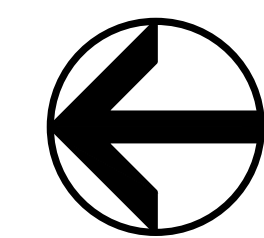
SHEET NO.
C2.0
OF 11 SHEETS

JOB NO.: 3439-010



TENTATIVE MAP PRELIMINARY GRADING AND DRAINAGE PLAN NAPA PIPE BLOCKS 16, 19, & 22

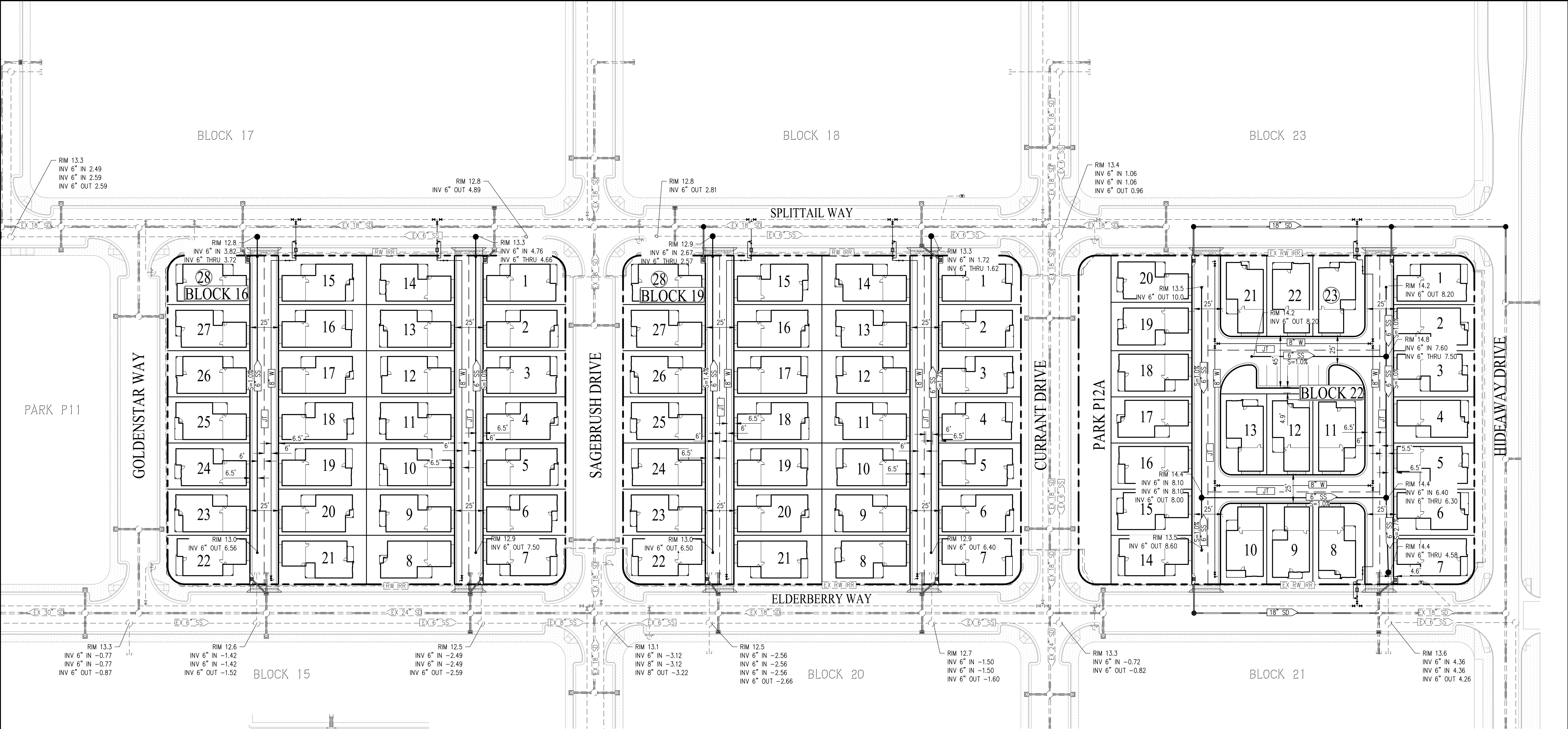
CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



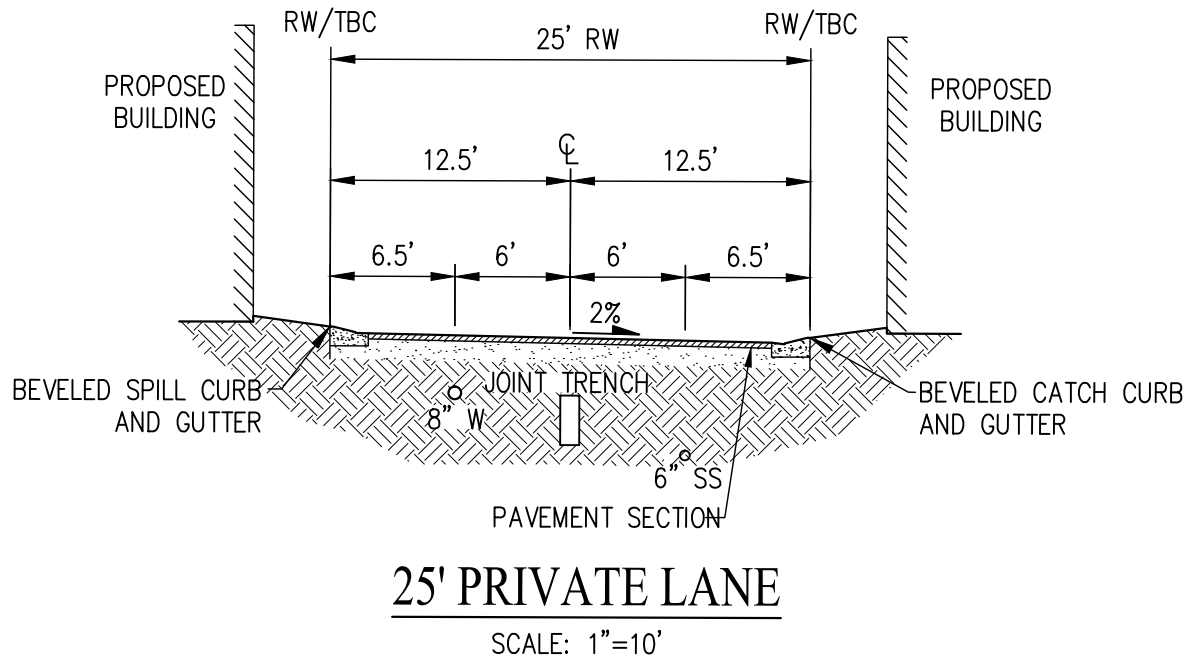
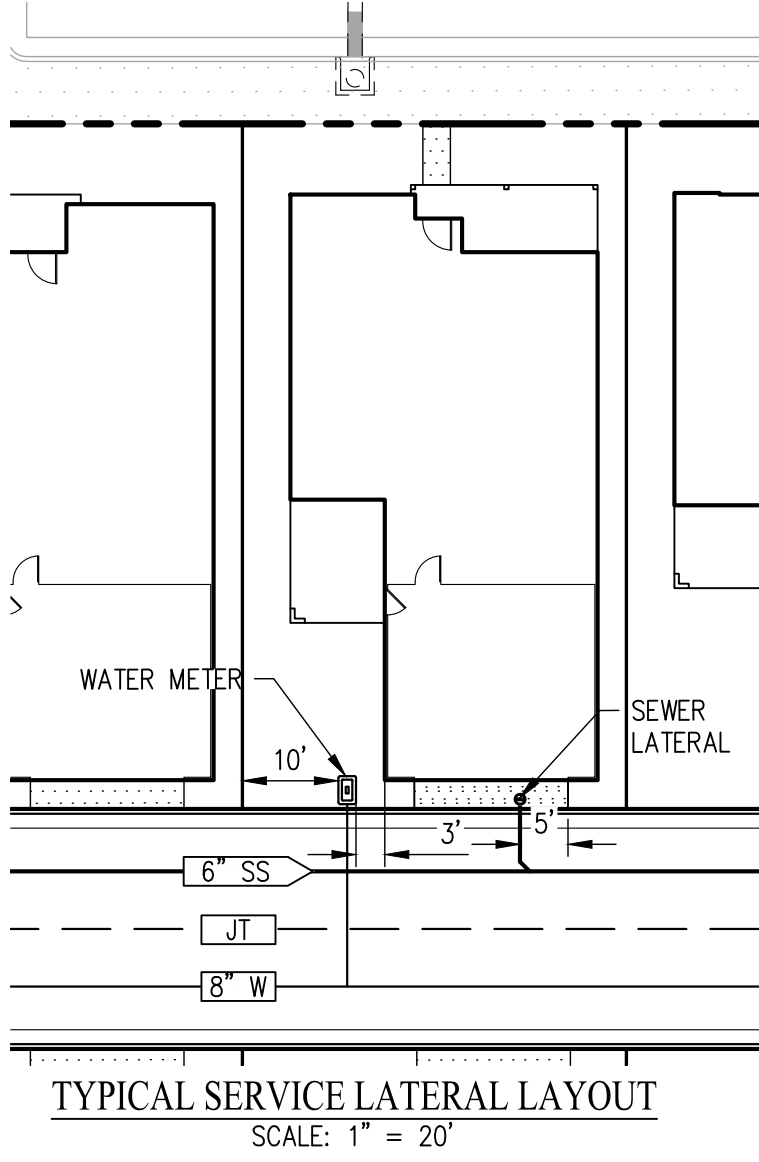
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C3.0
OF 11 SHEETS

JOB NO.: 3439-010



- HORIZONTAL UTILITY SEPARATION NOTES:**
- SANITARY SEWER AND POTABLE WATER TO MAINTAIN 10' EDGE TO EDGE SEPARATION HORIZONTALLY. WHEN WITHIN 10' FEET, POTABLE WATER TO MAINTAIN 1' VERTICAL CLEARANCE TO SANITARY SEWER.
 - SANITARY SEWER TO MAINTAIN 5' EDGE TO EDGE WITH STORM DRAIN.
 - SANITARY SEWER TO MAINTAIN 6' FROM CONTINUOUS SIDEWALK OR CONCRETE CURB PER NAPA SANITATION DISTRICT.
 - WATER MAIN TO MAINTAIN 10' OF SEPARATION FROM TREES & BUILDING FOUNDATIONS.
 - WATER MAIN TO MAINTAIN 5' FROM CENTERLINE TO EDGE OF JOINT TRENCH AND STORM DRAINS.

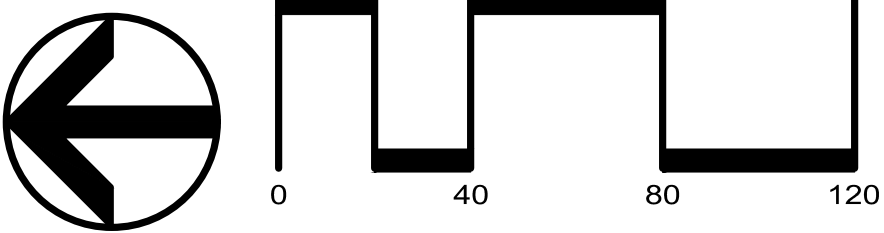


LEGEND:

- SUBDIVISION BOUNDARY
- RIGHT OF WAY
- LOT LINE
- SIDEWALK
- WATER LINE
- SANITARY SEWER
- STORM DRAIN
- JOINT TRENCH
- RECYCLED WATER IRRIGATION MAINLINE
- PRIVATE CATCH BASIN
- INFRASTRUCTURE CATCH BASIN PER BKF
- INFRASTRUCTURE WATER PER BKF
- INFRASTRUCTURE STORM DRAIN PER BKF
- INFRASTRUCTURE SEWER PER BKF

TENTATIVE MAP
PRELIMINARY UTILITY LAYOUT
NAPA PIPE BLOCKS 16, 19, & 22

CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



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OF 11 SHEETS

JOB NO.: 3439-010



BLOCK 16 LOT SUMMARY TABLE					
LOT NO.	PLAN TYPE	FOOTPRINT AREA	LOT AREA	LOT COVERAGE	OPEN SPACE
1	2C	1,694 SF±	2,976 SF±	56.92%	1,282 SF±
2	3B	1,725 SF±	2,850 SF±	60.53%	1,125 SF±
3	1C	1,665 SF±	2,850 SF±	58.42%	1,185 SF±
4	2B	1,694 SF±	2,850 SF±	59.44%	1,156 SF±
5	3A	1,728 SF±	2,850 SF±	60.63%	1,122 SF±
6	2C	1,694 SF±	2,850 SF±	59.44%	1,156 SF±
7	3A(R)	1,728 SF±	2,976 SF±	58.06%	1,248 SF±
8	2B	1,694 SF±	3,235 SF±	52.36%	1,541 SF±
9	1A(R)	1,665 SF±	3,048 SF±	54.63%	1,383 SF±
10	3C(R)	1,727 SF±	3,048 SF±	56.66%	1,321 SF±
11	1A(R)	1,665 SF±	3,048 SF±	54.63%	1,383 SF±
12	3B(R)	1,725 SF±	3,048 SF±	56.59%	1,323 SF±
13	2A(R)	1,696 SF±	3,048 SF±	55.64%	1,352 SF±
14	1B(R)	1,663 SF±	3,235 SF±	51.41%	1,572 SF±
15	2A	1,696 SF±	3,235 SF±	52.43%	1,539 SF±
16	3C	1,727 SF±	3,048 SF±	56.66%	1,321 SF±
17	2B	1,694 SF±	3,048 SF±	55.58%	1,354 SF±
18	1A	1,665 SF±	3,048 SF±	54.63%	1,383 SF±
19	3C(R)	1,727 SF±	3,048 SF±	56.66%	1,321 SF±
20	2B	1,694 SF±	3,048 SF±	55.58%	1,354 SF±
21	1A(R)	1,665 SF±	3,235 SF±	51.47%	1,570 SF±
22	3B	1,725 SF±	2,975 SF±	57.98%	1,250 SF±
23	3A(R)	1,728 SF±	2,849 SF±	60.65%	1,121 SF±
24	1B	1,663 SF±	2,849 SF±	58.37%	1,186 SF±
25	2C(R)	1,694 SF±	2,849 SF±	59.46%	1,155 SF±
26	3A(R)	1,728 SF±	2,849 SF±	60.65%	1,121 SF±
27	1C(R)	1,665 SF±	2,849 SF±	58.44%	1,184 SF±
28	3B(R)	1,725 SF±	2,975 SF±	57.98%	1,250 SF±

BLOCK 19 LOT SUMMARY TABLE					
LOT NO.	PLAN TYPE	FOOTPRINT AREA	LOT AREA	LOT COVERAGE	OPEN SPACE
1	3C	1,727 SF±	2,976 SF±	58.03%	1,249 SF±
2	2A(R)	1,696 SF±	2,850 SF±	59.51%	1,154 SF±
3	1B(R)	1,663 SF±	2,850 SF±	58.35%	1,187 SF±
4	2C	1,694 SF±	2,850 SF±	59.44%	1,156 SF±
5	1A	1,665 SF±	2,850 SF±	58.42%	1,185 SF±
6	3B	1,725 SF±	2,850 SF±	60.53%	1,125 SF±
7	2C(R)	1,694 SF±	2,976 SF±	56.92%	1,282 SF±
8	1B(R)	1,663 SF±	3,235 SF±	51.41%	1,572 SF±
9	2A	1,696 SF±	3,048 SF±	55.64%	1,352 SF±
10	3C(R)	1,727 SF±	3,048 SF±	56.66%	1,321 SF±
11	2B(R)	1,694 SF±	3,048 SF±	55.58%	1,354 SF±
12	3A(R)	1,728 SF±	3,048 SF±	56.69%	1,320 SF±
13	1C	1,665 SF±	3,048 SF±	54.63%	1,383 SF±
14	2B(R)	1,694 SF±	3,235 SF±	52.36%	1,541 SF±
15	1C	1,665 SF±	3,235 SF±	51.47%	1,570 SF±
16	2A	1,696 SF±	3,048 SF±	55.64%	1,352 SF±
17	3B	1,725 SF±	3,048 SF±	56.59%	1,323 SF±
18	2C	1,694 SF±	3,048 SF±	55.58%	1,354 SF±
19	3A	1,728 SF±	3,048 SF±	56.69%	1,320 SF±
20	2B	1,694 SF±	3,048 SF±	55.58%	1,354 SF±
21	3C	1,727 SF±	3,235 SF±	53.38%	1,508 SF±
22	2A(R)	1,696 SF±	2,975 SF±	57.01%	1,279 SF±
23	1C(R)	1,665 SF±	2,849 SF±	58.44%	1,184 SF±
24	3B(R)	1,725 SF±	2,849 SF±	60.55%	1,124 SF±
25	1A(R)	1,665 SF±	2,849 SF±	58.44%	1,184 SF±
26	3C(R)	1,727 SF±	2,849 SF±	60.62%	1,122 SF±
27	1B(R)	1,663 SF±	2,849 SF±	58.37%	1,186 SF±
28	3A(R)	1,728 SF±	2,975 SF±	58.08%	1,247 SF±

BLOCK 22 LOT SUMMARY TABLE					
LOT NO.	PLAN TYPE	FOOTPRINT AREA	LOT AREA	LOT COVERAGE	OPEN SPACE
1	3C	1,727 SF±	2,927 SF±	59.00%	1,200 SF±
2	2A(R)	1,696 SF±	2,800 SF±	60.57%	1,104 SF±
3	1B(R)	1,663 SF±	2,800 SF±	59.39%	1,137 SF±
4	2C(R)	1,694 SF±	2,800 SF±	60.50%	1,106 SF±
5	3A(R)	1,728 SF±	2,800 SF±	61.71%	1,072 SF±
6	2B(R)	1,694 SF±	2,800 SF±	60.50%	1,106 SF±
7	1C(R)	1,665 SF±	2,920 SF±	57.02%	1,255 SF±
8	2A	1,696 SF±	3,131 SF±	54.17%	1,435 SF±
9	1B(R)	1,663 SF±	2,800 SF±	59.39%	1,137 SF±
10	3C(R)	1,727 SF±	2,780 SF±	62.12%	1,053 SF±
11	3B(R)	1,725 SF±	3,131 SF±	55.09%	1,406 SF±
12	2C(R)	1,694 SF±	2,800 SF±	60.50%	1,106 SF±
13	1A	1,665 SF±	2,780 SF±	59.89%	1,115 SF±
14	3B	1,725 SF±	2,968 SF±	58.12%	1,243 SF±
15	1A	1,665 SF±	2,800 SF±	59.46%	1,135 SF±
16	3C	1,727 SF±	2,800 SF±	61.68%	1,073 SF±
17	2B	1,694 SF±	2,800 SF±	60.50%	1,106 SF±
18	3A	1,728 SF±	2,800 SF±	61.71%	1,072 SF±
19	1C	1,665 SF±	2,940 SF±	56.63%	1,275 SF±
20	1B(R)	1,663 SF±	2,835 SF±	58.66%	1,172 SF±
21	2B	1,694 SF±	2,780 SF±	60.94%	1,086 SF±
22	3A(R)	1,728 SF±	2,800 SF±	61.71%	1,072 SF±
23	1C(R)	1,665 SF±	3,131 SF±	53.18%	1,466 SF±

BLOCK 16 DEVELOPMENT SUMMARY	
NUMBER OF UNITS	28 UNITS
TOTAL PARKING COUNT	84 SPACES
COVERED SPACES	56 SPACES
GUEST SPACES	28 SPACES
OPEN SPACE	SEE TABLE TO LEFT
LOT COVERAGE	SEE TABLE TO LEFT

BLOCK 19 DEVELOPMENT SUMMARY	
NUMBER OF UNITS	28 UNITS
TOTAL PARKING COUNT	84 SPACES
COVERED SPACES	56 SPACES
GUEST SPACES	28 SPACES
OPEN SPACE	SEE TABLE TO LEFT
LOT COVERAGE	SEE TABLE TO LEFT

BLOCK 22 DEVELOPMENT SUMMARY	
NUMBER OF UNITS	23 UNITS
TOTAL PARKING COUNT	69 SPACES
COVERED SPACES	46 SPACES
GUEST SPACES	23 SPACES
OPEN SPACE	SEE TABLE TO LEFT
LOT COVERAGE	SEE TABLE TO LEFT

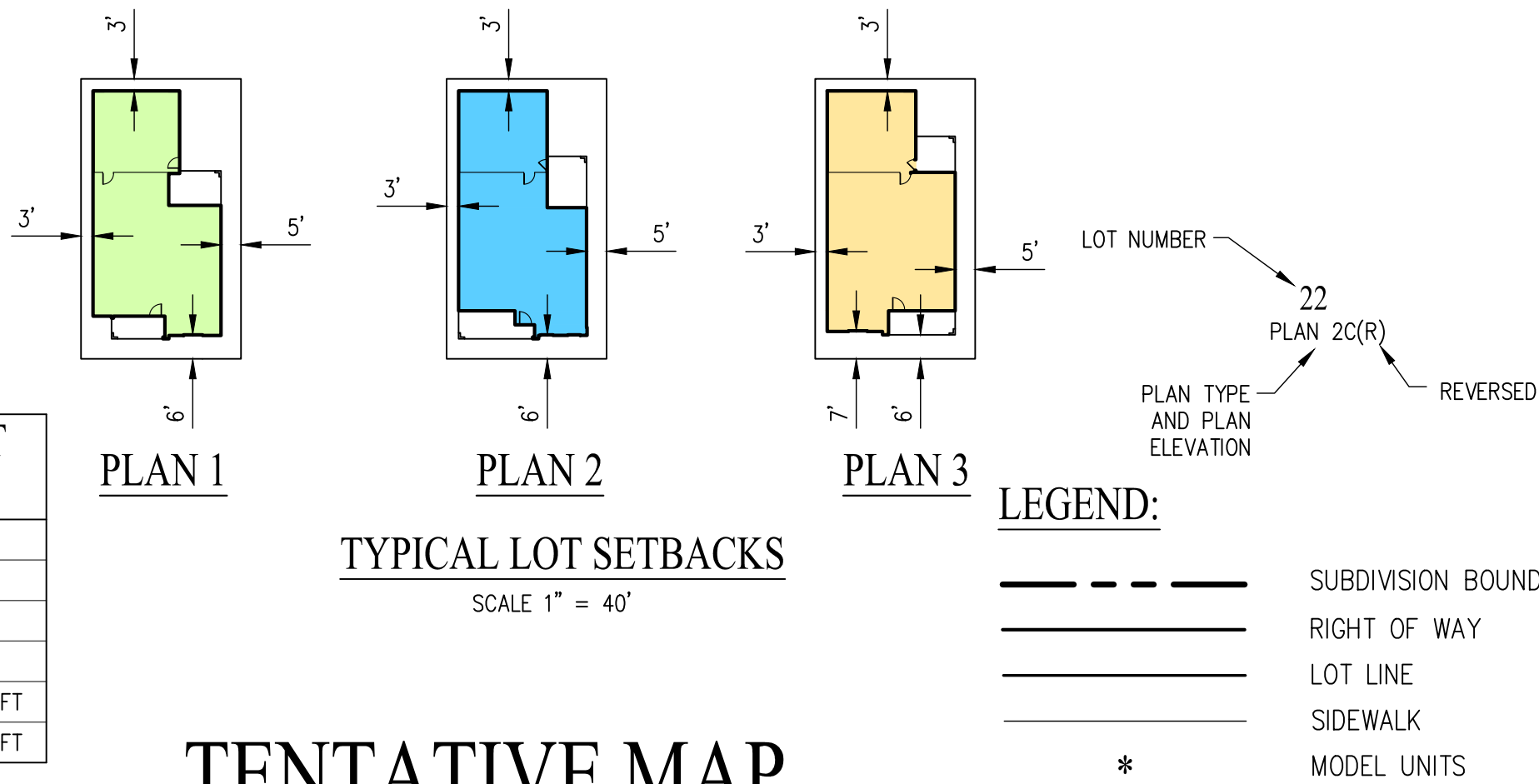
PRODUCT MIX

SINGLE-FAMILY HOMES:

PLAN 1:		PLAN 2:		PLAN 3:	
ELEVATION A	8 UNITS	ELEVATION A	10 UNITS	ELEVATION A	9 UNITS
ELEVATION B	8 UNITS	ELEVATION B	10 UNITS	ELEVATION B	9 UNITS
ELEVATION C	8 UNITS	ELEVATION C	7 UNITS	ELEVATION C	10 UNITS
TOTAL	24 UNITS	TOTAL	27 UNITS	TOTAL	28 UNITS

PRODUCT SUMMARY	
PLAN TYPE	UNIT COUNT
PLAN 1	24
PLAN 2	27
PLAN 3	28
TOTAL	79 UNITS

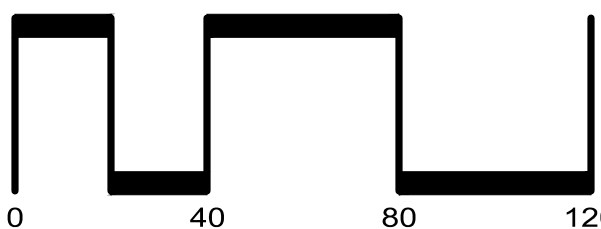
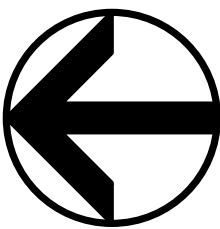
UNIT SUMMARY	
40' X 70'	
LOCATION	UNIT COUNT
BLOCK 16	28
BLOCK 19	28
BLOCK 22	23
TOTAL	79 UNITS



TENTATIVE MAP
DEVELOPMENT PLAN
NAPA PIPE BLOCKS 16, 19, & 22

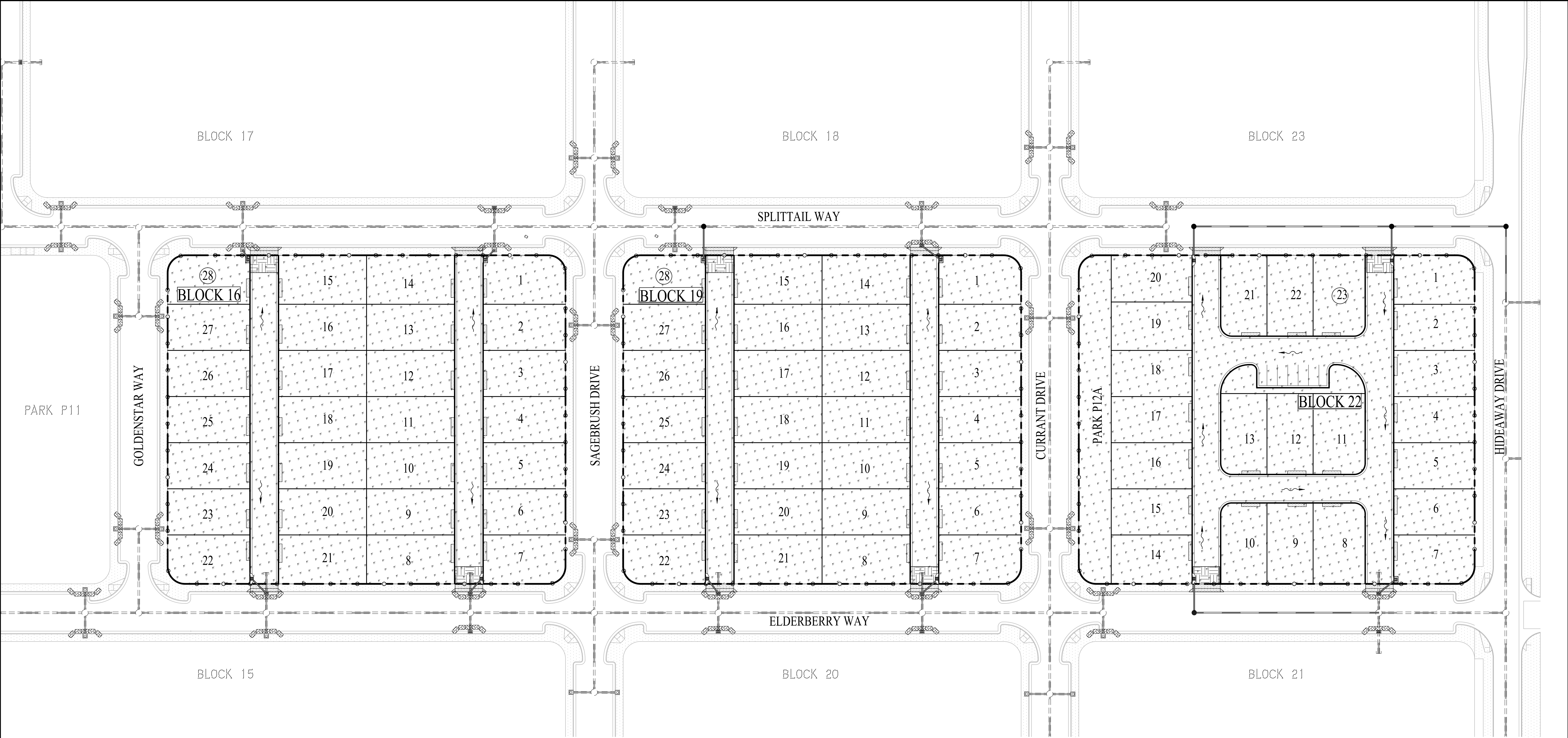
CITY OF NAPA NAPA COUNTY CALIFORNIA

SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



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SURVEYORS PLANNERS

SHEET NO.
C5.0
OF 11 SHEETS



NOTES:

- 1. CONTRACTOR TO PLACE 6-FOOT HIGH CHAIN LINK FENCE WITH PROTECTIVE SCREEN (SILT FENCE) AROUND PROJECT PERIMETER.
- 2. DETAILS OF EROSION CONTROL MEASURES TO BE CONSTRUCTED ON-SITE AND OFF-SITE ARE PROVIDED IN THE CASQA CONSTRUCTION HANDBOOK CONSISTENT WITH THE PROJECT SWPPP. THE CONTRACTOR'S SWPPP MANAGER IS RESPONSIBLE FOR IMPLEMENTING THE PROPER SWPPP MEASURES IN THE FIELD AS DIRECTED IN THE SWPPP AND BY THE CITY'S FIELD INSPECTOR.

SWPPP MANAGER TO MARK KNOWN LOCATIONS

- STABILIZED CONSTRUCTION ENTRANCE/EXIT (CASQA DETAILS TC-1 & TC-3)
- VEHICLE CLEANING/MAINTENANCE/FUELING AREA - (NS-8, NS-9, NS-10)
- SANITARY FACILITY (WM-9)
- CONCRETE/WASTE WASHOUT (WM-8)

NOTE:

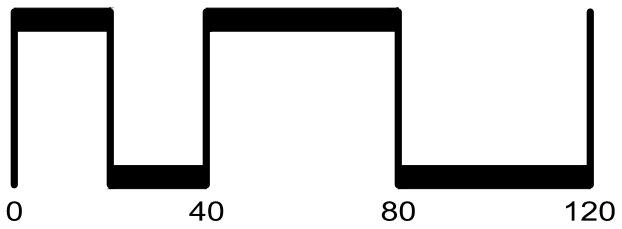
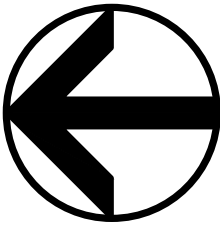
* THE MATERIALS AND EQUIPMENT STORAGE AREA, VEHICLE CLEANING/MAINTENANCE/FUELING AREA, SANITARY FACILITY AND CONCRETE/WASTE WASHOUT WILL BE PLACED AT THE QSP'S DISCRETION AND ARE SUBJECT TO CHANGE.

LEGEND

- CURB INLET PROTECTION - (SE-10)
- SILT FENCE(SEE NOTE 1)
- PROJECT BOUNDARY
- HYDROSEED MIX OR HYDROMULCH - (EC-4 OR EC-3)
- DIRECTION OF FLOW

TENTATIVE MAP
EROSION CONTROL PLAN
NAPA PIPE BLOCKS 16, 19, & 22

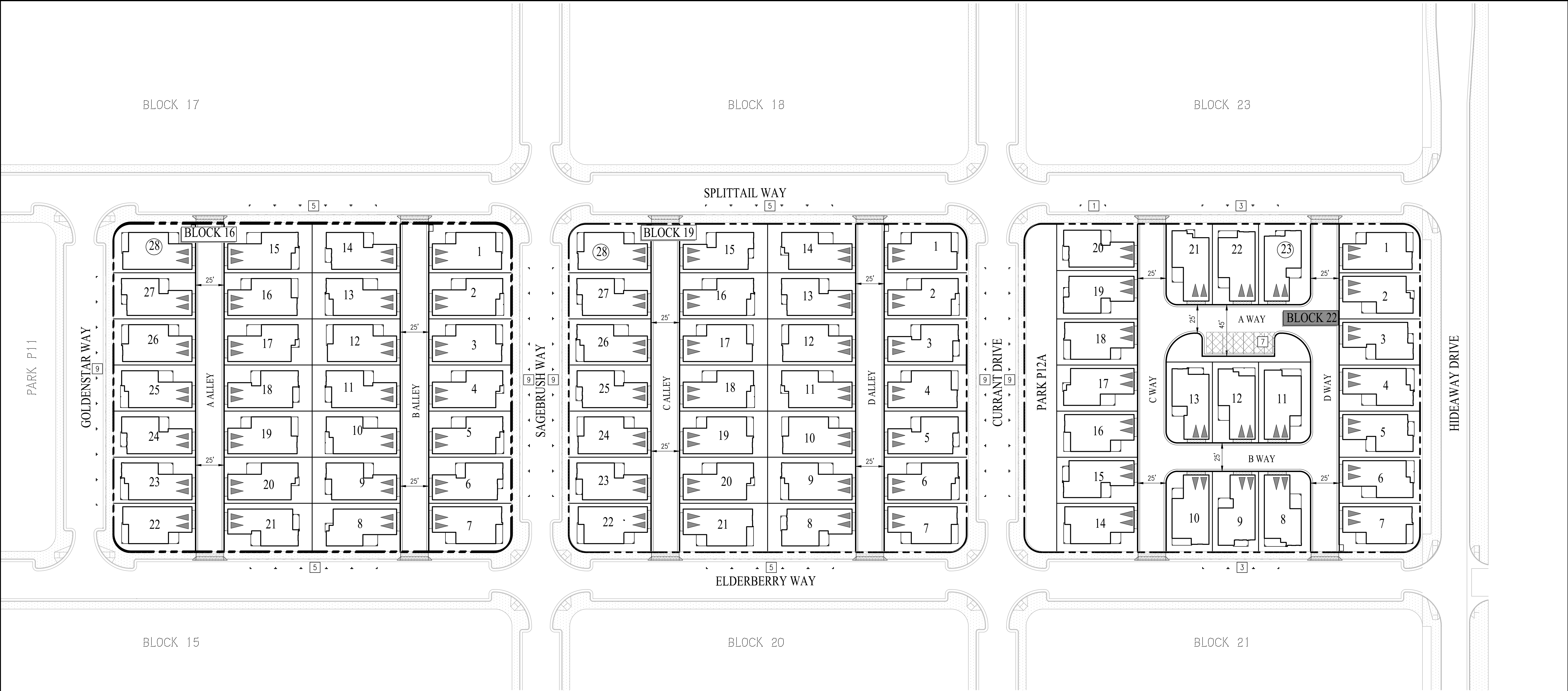
CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



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JOB NO.: 3439-010



BLOCK 16 PARKING SUMMARY			
PARKING REQUIRED			
OFF-STREET COVERED SPACES PER UNIT (2 PER UNIT) = (28 X 2) =	56 SPACES		
GUEST SPACES* = 0.25 SPACES PER UNIT = (28 X 0.25) =	7 SPACES		
TOTAL PARKING REQUIRED =	63 SPACES		
PARKING PROVIDED			
OFF-STREET COVERED SPACES (28 X 2) =	56 SPACES		
GUEST ON-STREET SPACES	28 SPACES		
TOTAL PARKING PROVIDED =	84 SPACES		

BLOCK 19 PARKING SUMMARY			
PARKING REQUIRED			
OFF-STREET COVERED SPACES PER UNIT (2 PER UNIT) = (28 X 2) =	56 SPACES		
GUEST SPACES* = 0.25 SPACES PER UNIT = (28 X 0.25) =	7 SPACES		
TOTAL PARKING REQUIRED =	63 SPACES		
PARKING PROVIDED			
OFF-STREET COVERED SPACES (28 X 2) =	56 SPACES		
GUEST ON-STREET SPACES	28 SPACES		
TOTAL PARKING PROVIDED =	84 SPACES		

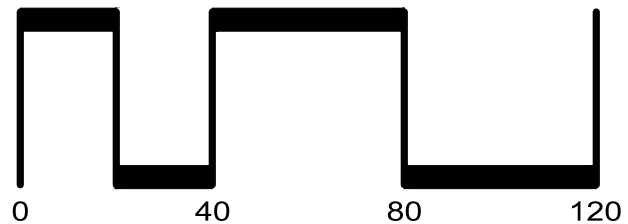
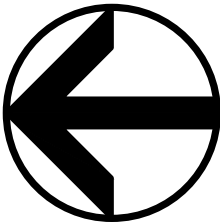
BLOCK 22 PARKING SUMMARY			
PARKING REQUIRED			
OFF-STREET COVERED SPACES PER UNIT (2 PER UNIT) = (23 X 2) =	46 SPACES		
GUEST SPACES* = 0.25 SPACES PER UNIT = (23 X 0.25) =	6 SPACES		
TOTAL PARKING REQUIRED =	52 SPACES		
PARKING PROVIDED			
OFF-STREET COVERED SPACES (23 X 2) =	46 SPACES		
GUEST ON-STREET SPACES	23 SPACES		
TOTAL PARKING PROVIDED =	69 SPACES		

LEGEND

- PROPERTY BOUNDARY
- [5] NUMBER OF PARKING SPACES
- [7] IN-TRACT PARKING SPACES
- ▲ PARALLEL PARKING SPACES
- ▲ GARAGE PARKING SPACES

TENTATIVE MAP
PRELIMINARY PARKING PLAN
NAPA PIPE BLOCKS 16, 19, & 22

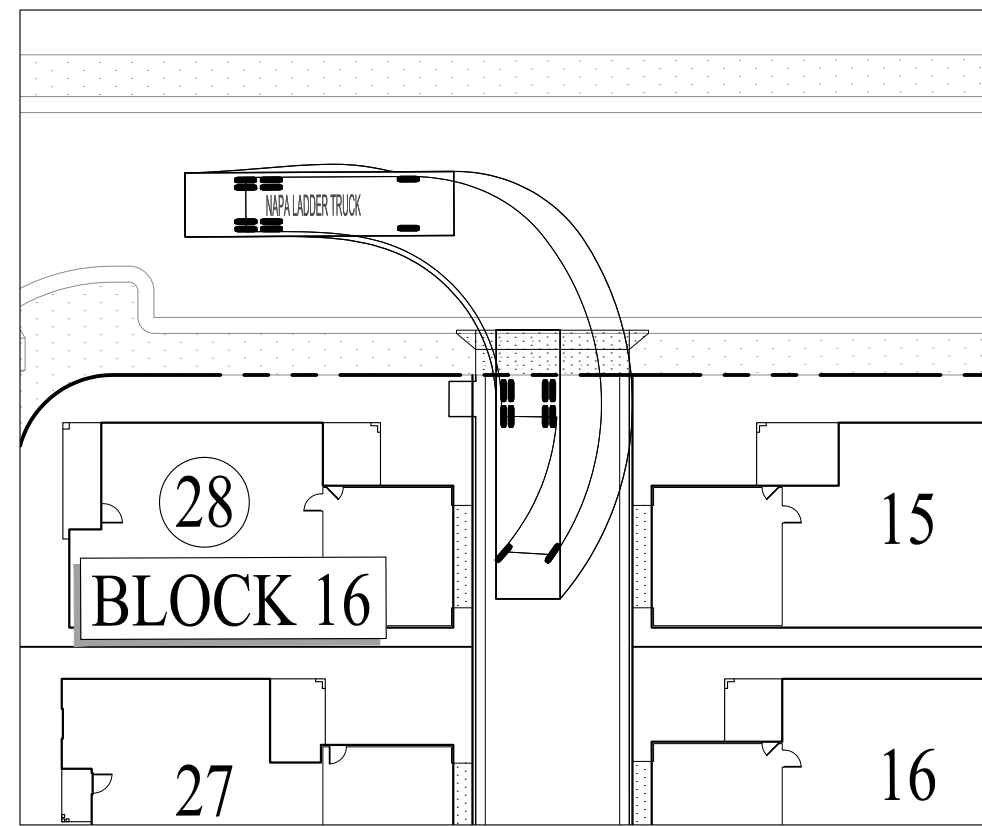
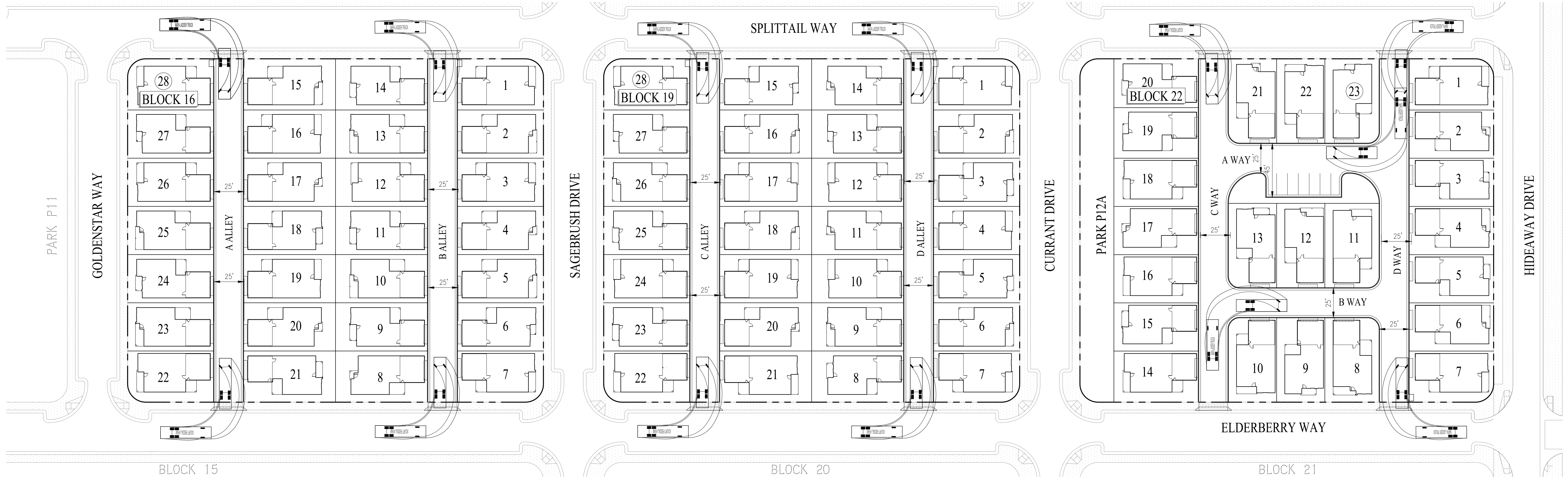
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SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



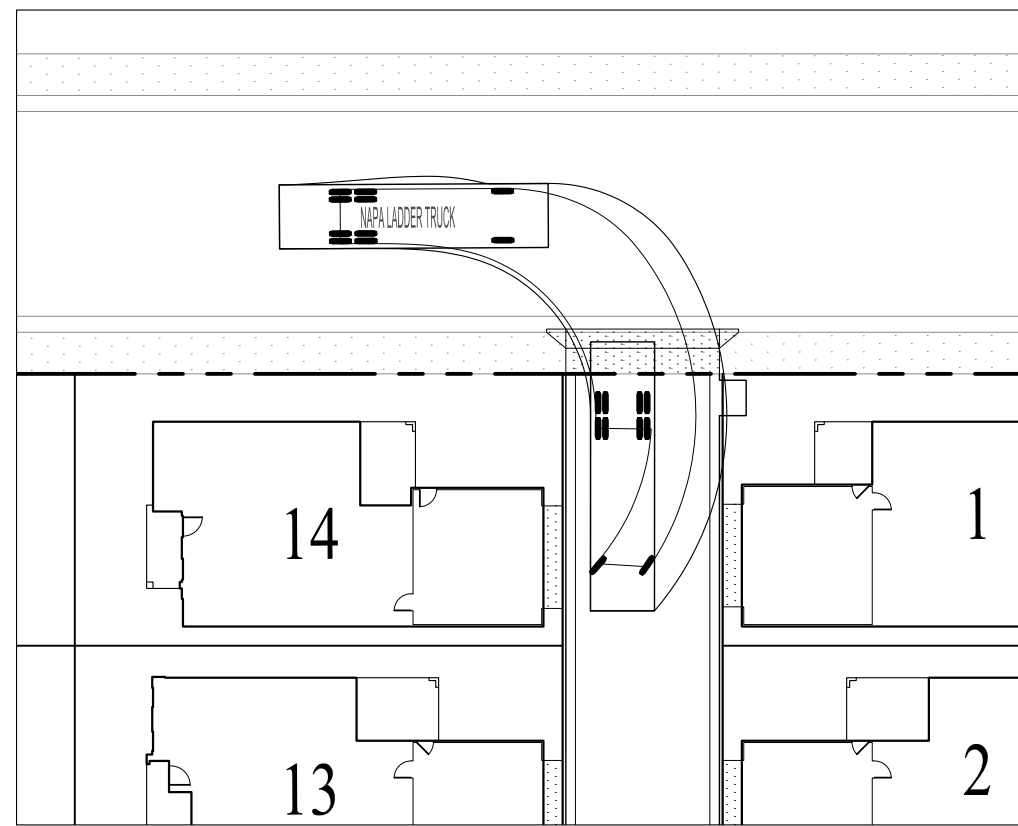
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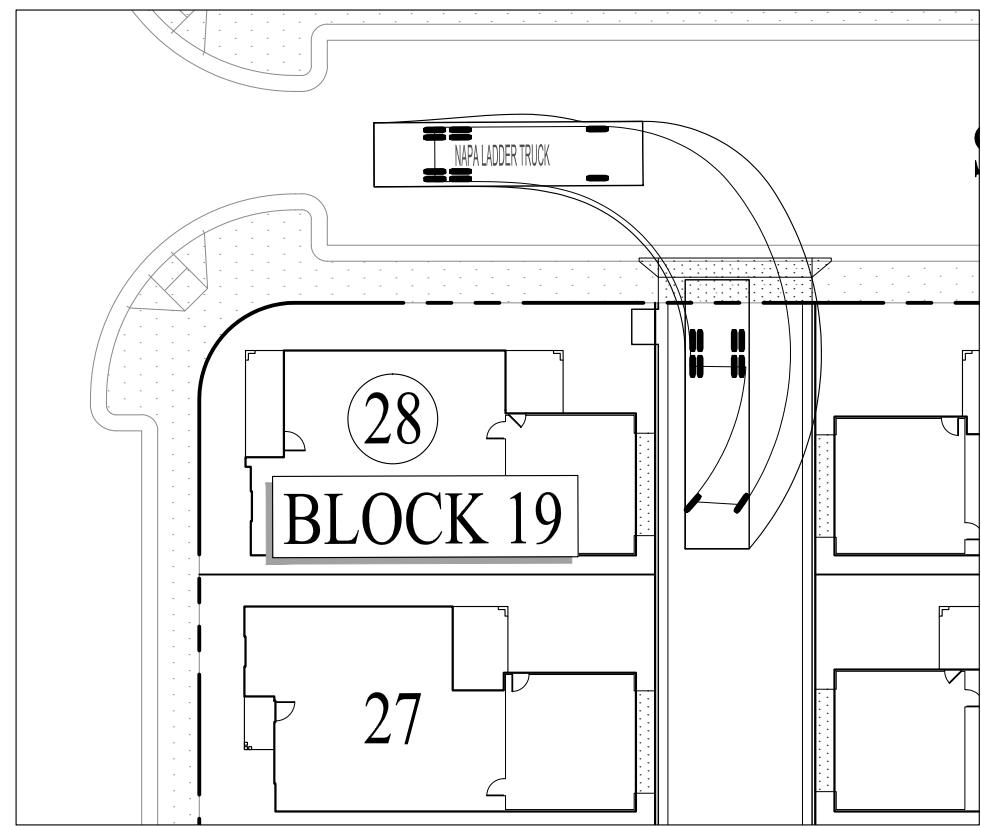
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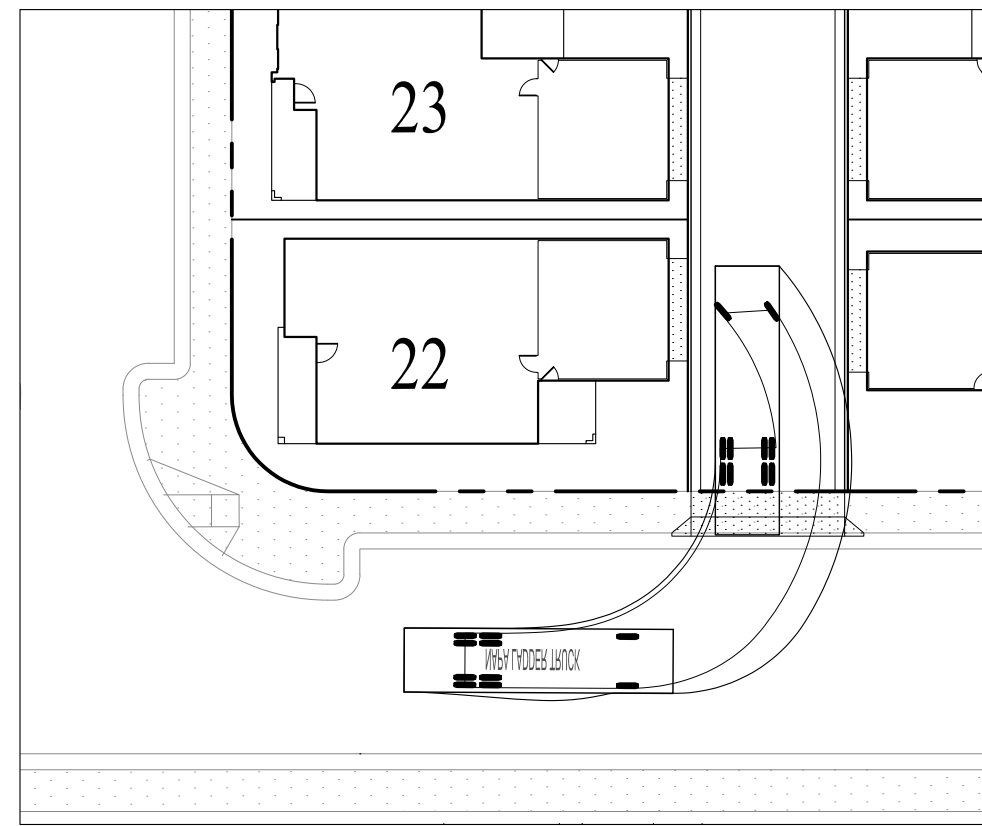
SPLITTAIL WAY AND A ALLEY
SCALE 1:30



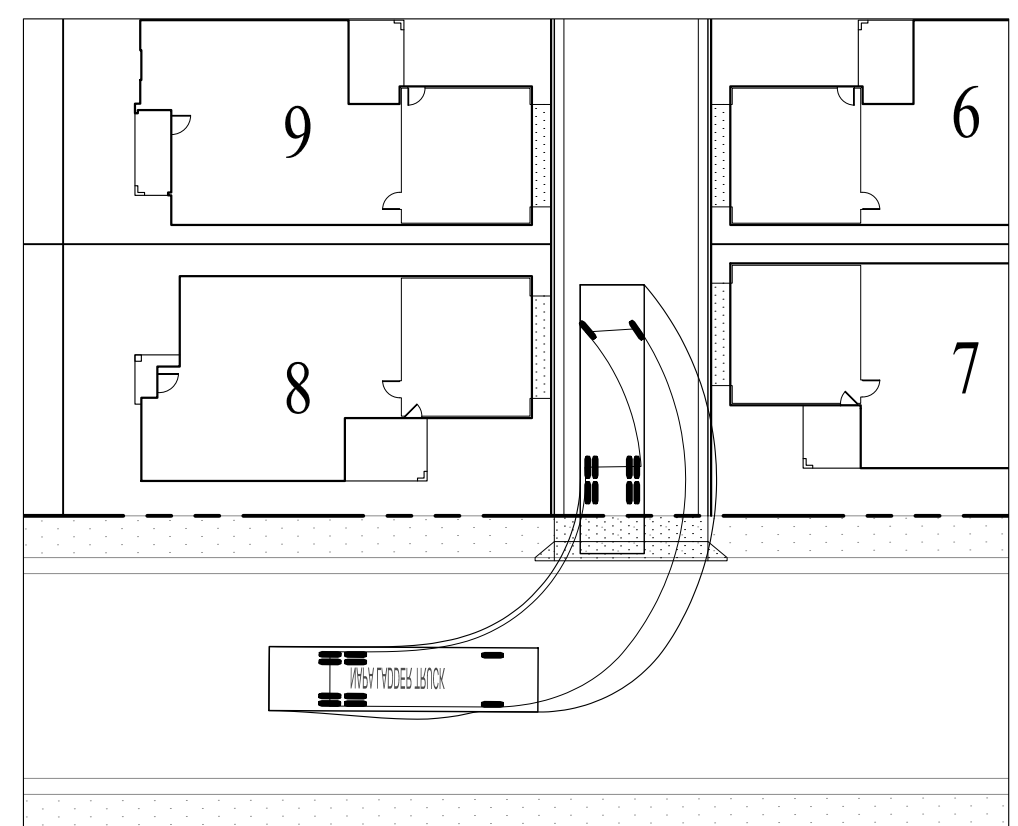
SPLITTAIL WAY AND B ALLEY
SCALE 1:30



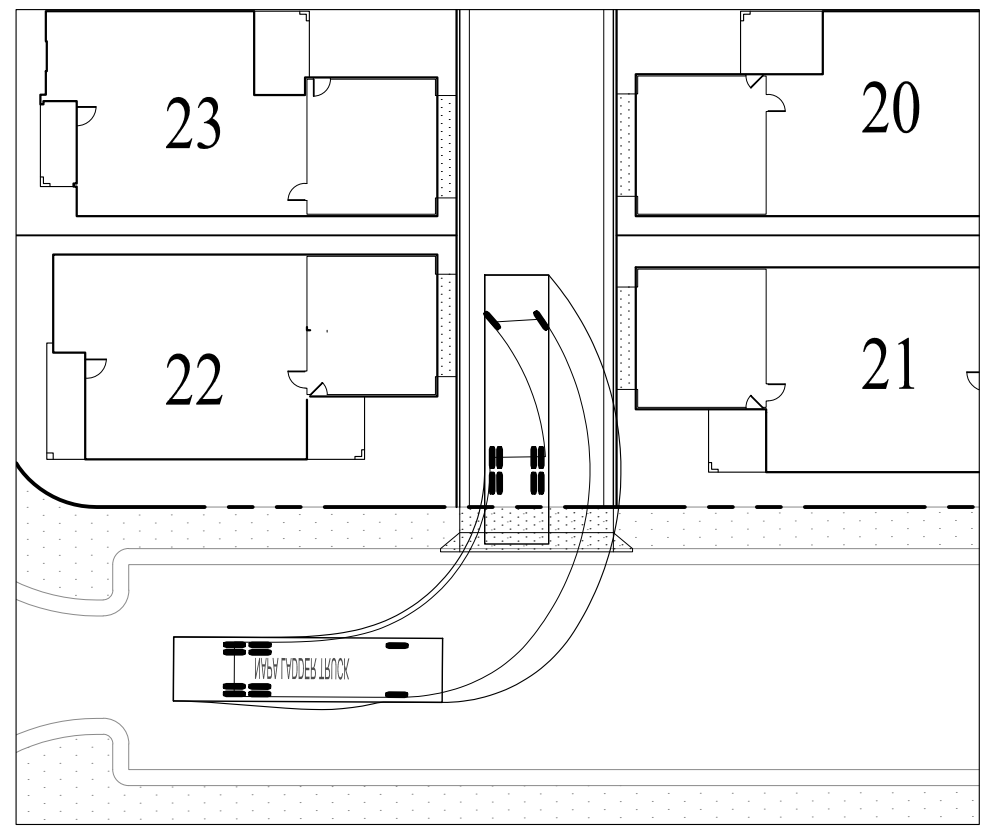
SPLITTAIL WAY AND A ALLEY
SCALE 1:30



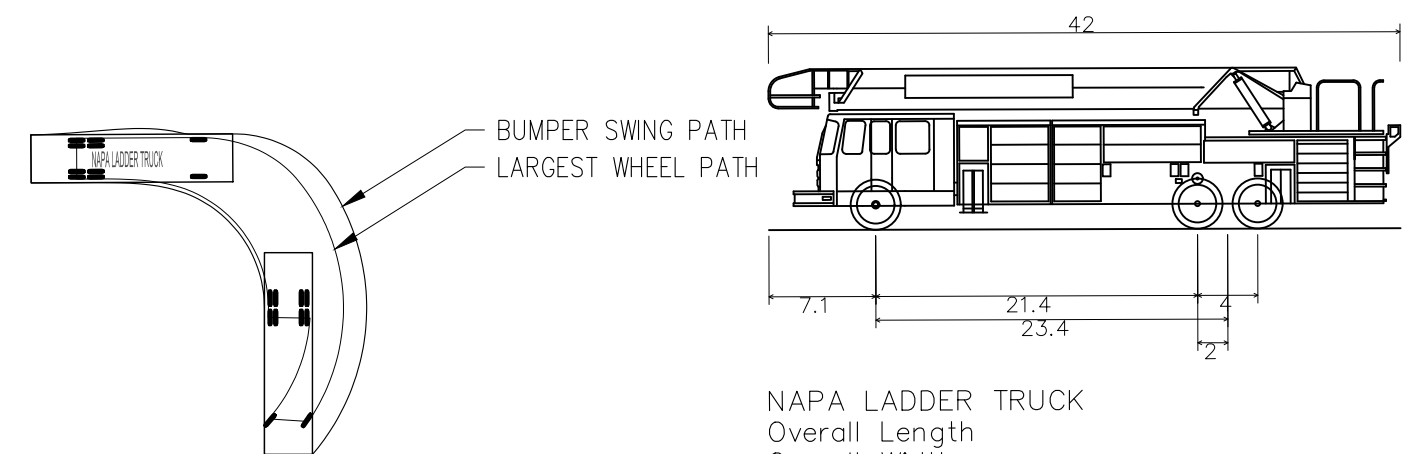
ELDERBERRY WAY AND A ALLEY
SCALE 1:30



ELDERBERRY WAY AND B ALLEY
SCALE 1:30

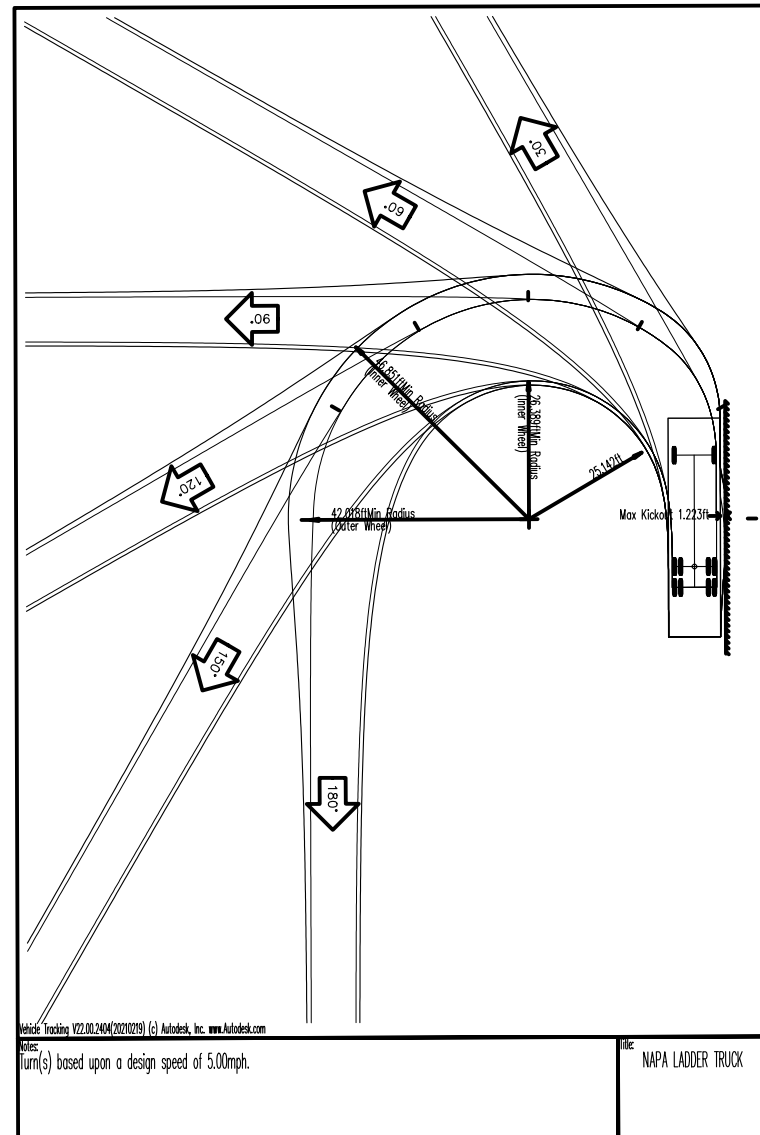


ELDERBERRY WAY AND A ALLEY
SCALE 1:30



VEHICLE TURNING TEMPLATE
NOT TO SCALE

42.000ft
10.000ft
10.698ft
1.129ft
8.500ft
6.00s
41.20°

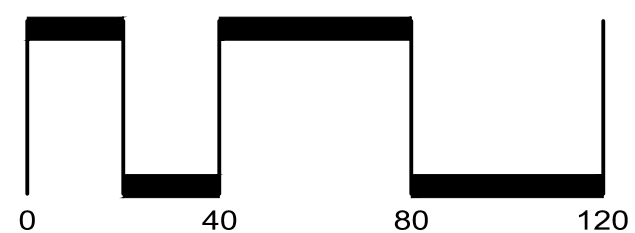
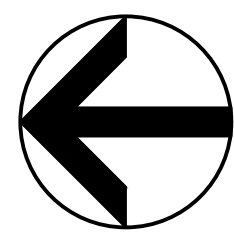


LEGEND

PROJECT BOUNDARY

TENTATIVE MAP
PRELIMINARY FIRE ACCESS PLAN
NAPA PIPE BLOCKS 16, 19, & 22

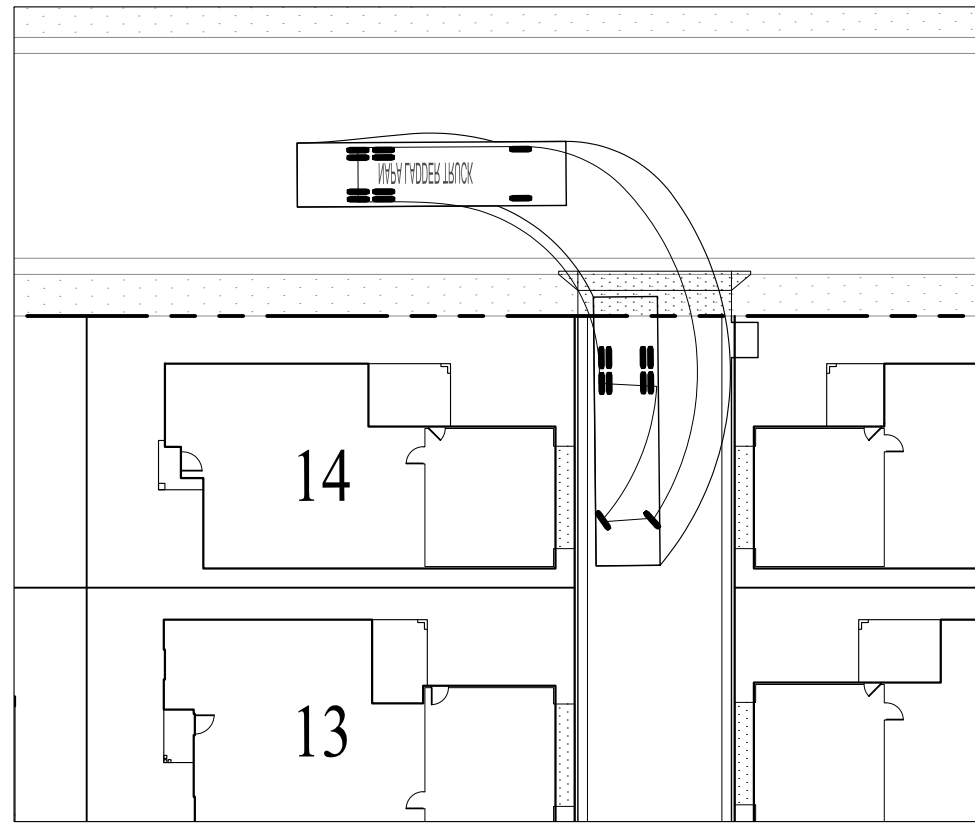
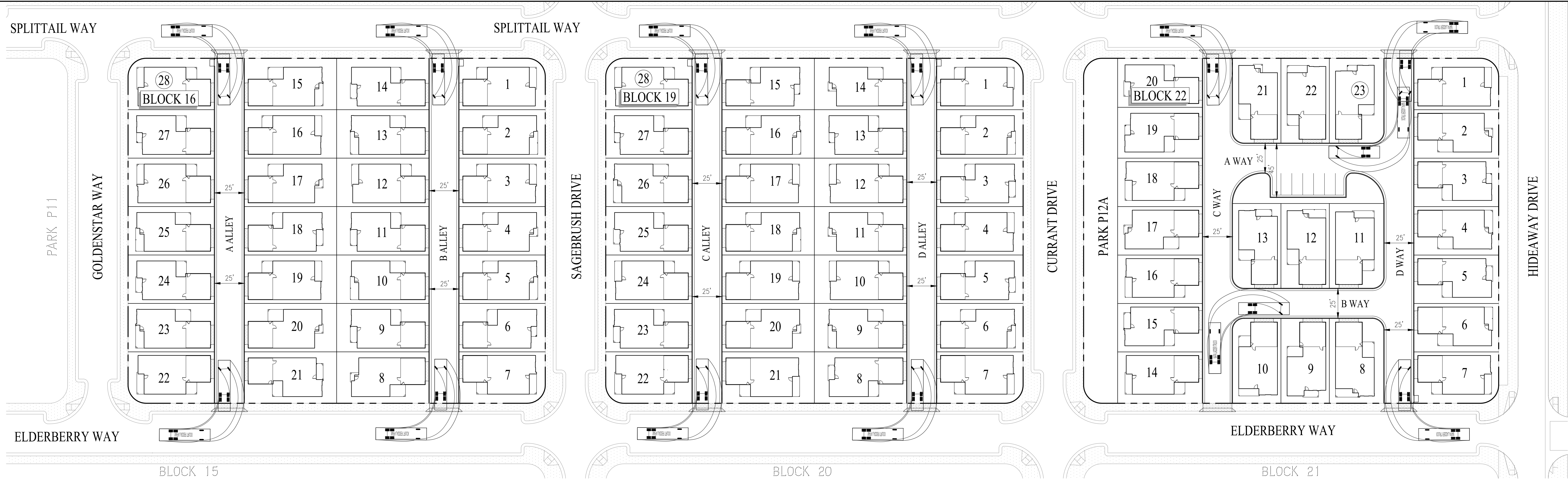
CITY OF NAPA NAPA COUNTY CALIFORNIA
SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



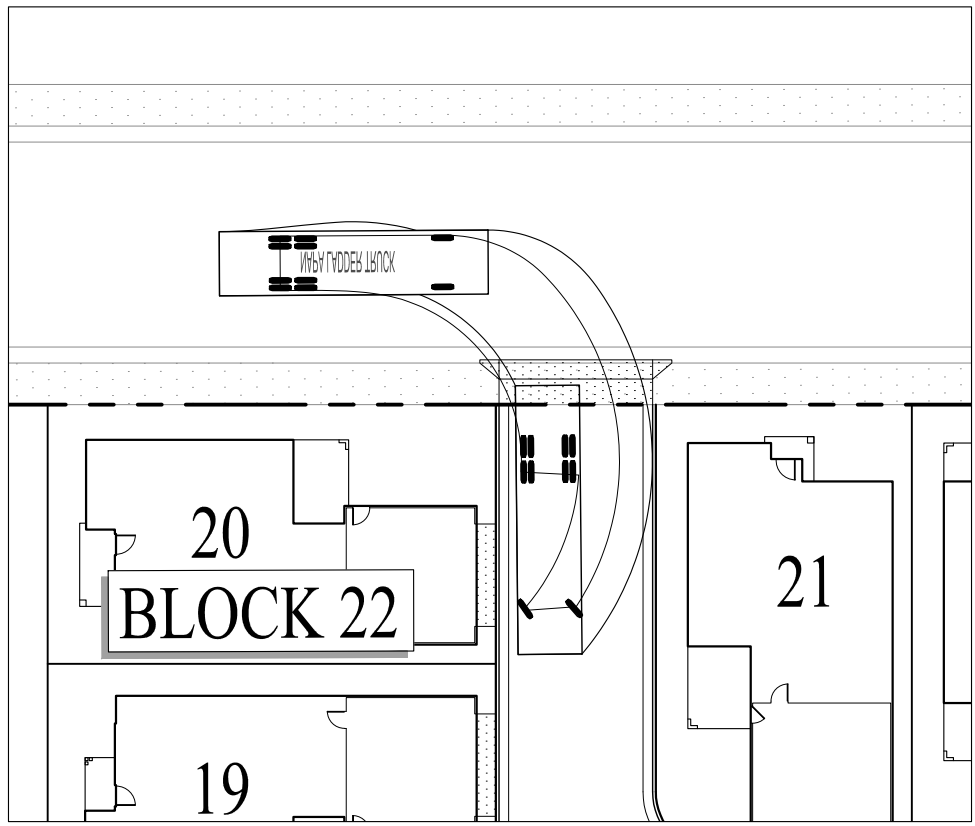
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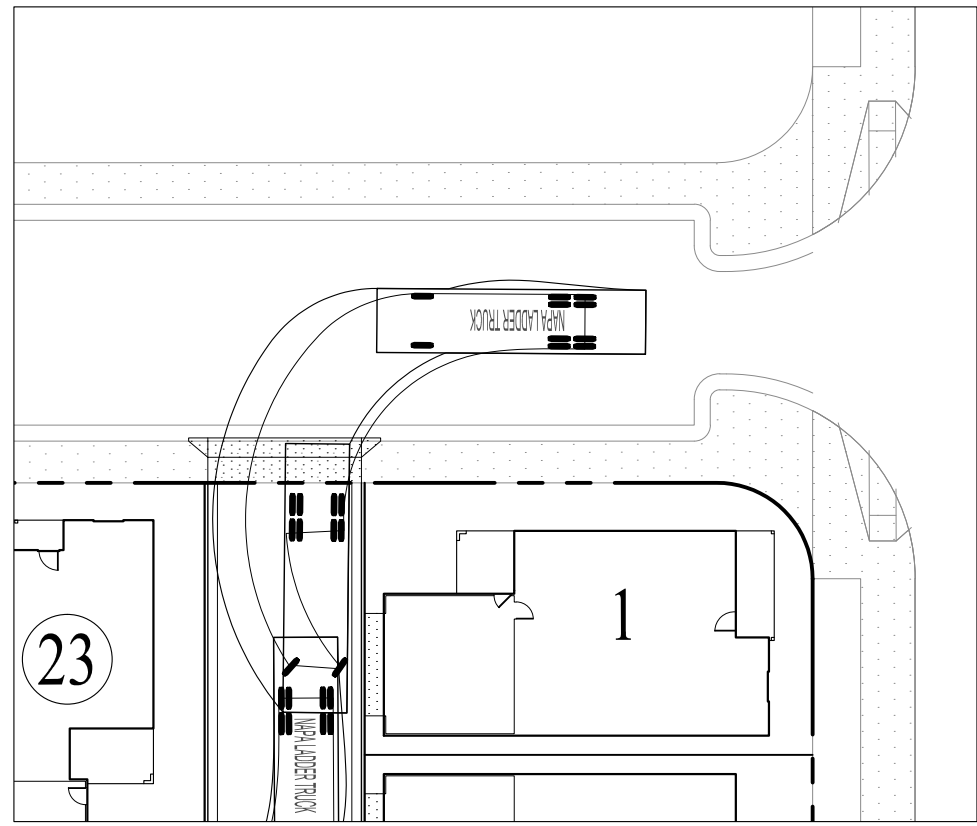
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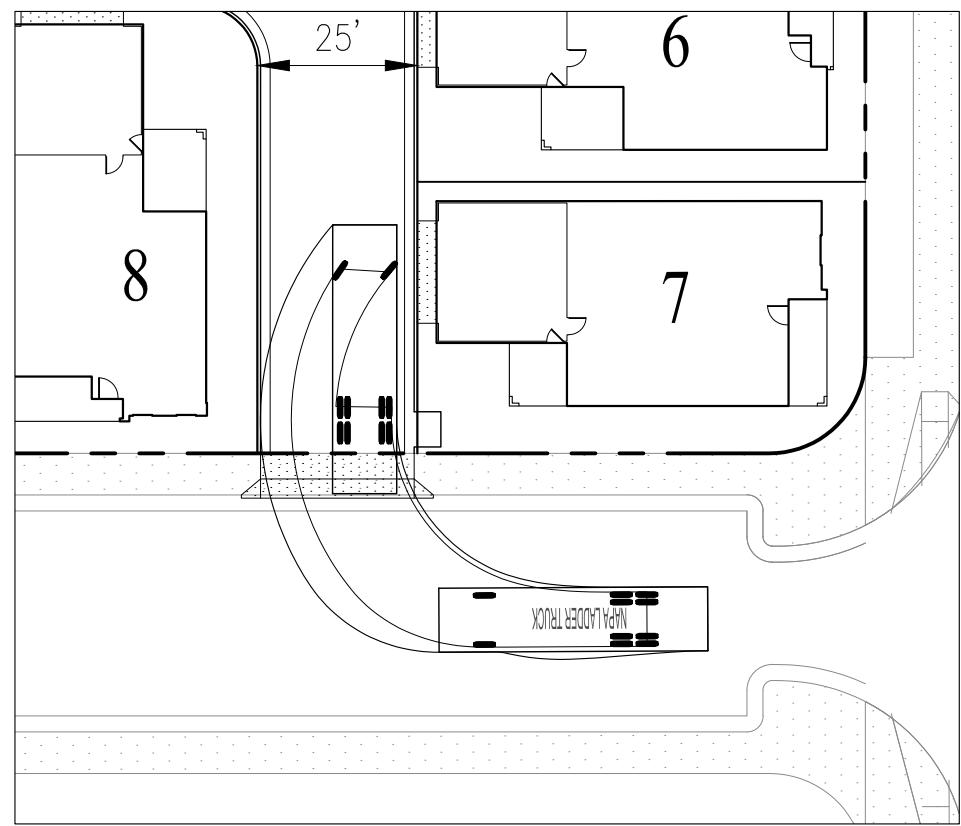
SPLITTAIL WAY AND D ALLEY
SCALE 1:30



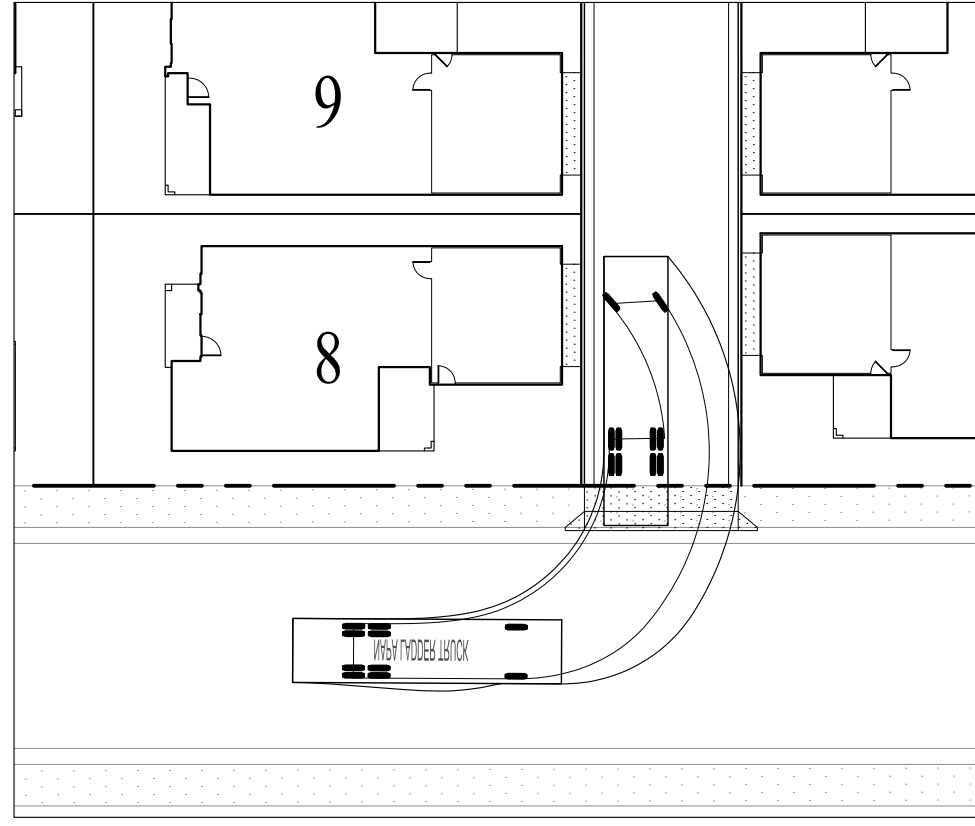
SPLITTAIL WAY AND C WAY
SCALE 1:30



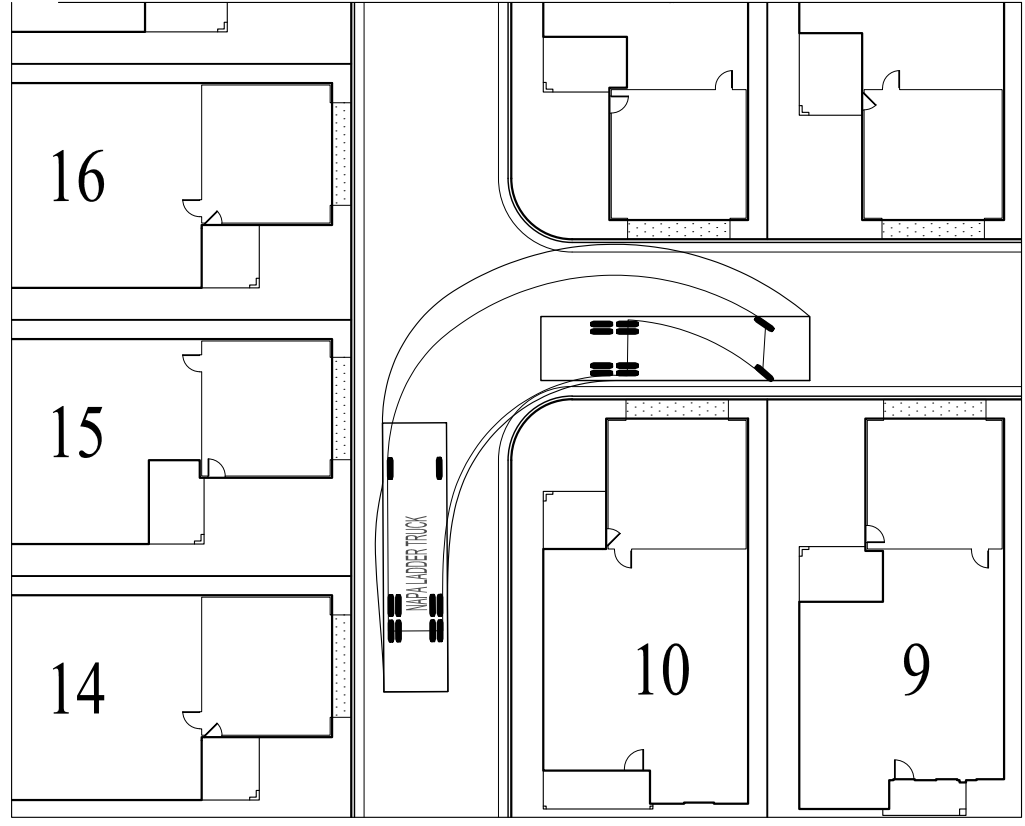
SPLITTAIL WAY AND D WAY
SCALE 1:30



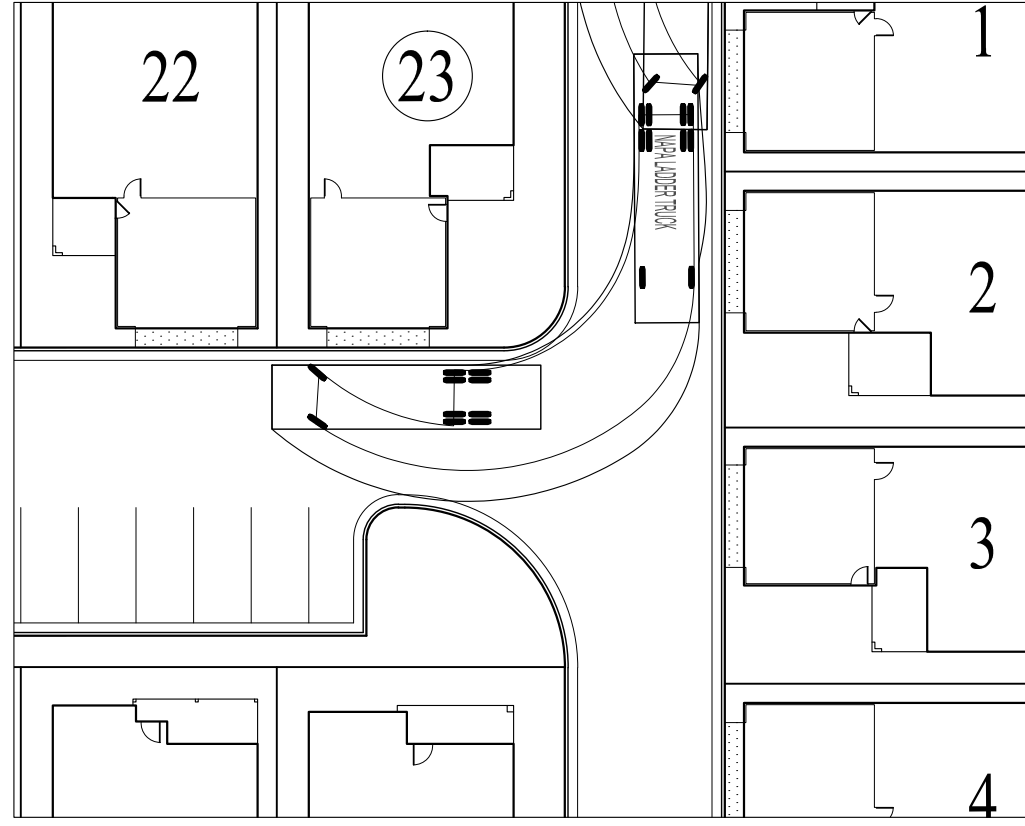
ELDERBERRY WAY AND D WAY
SCALE 1:30



ELDERBERRY WAY AND D ALLEY
SCALE 1:30



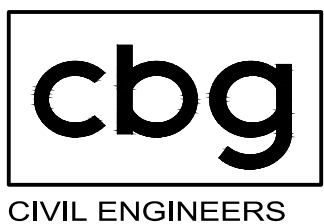
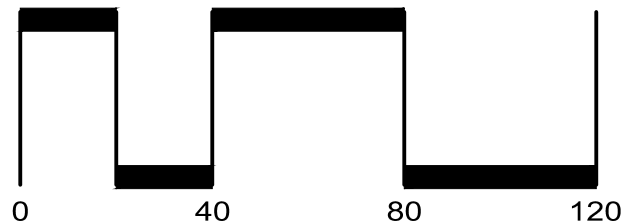
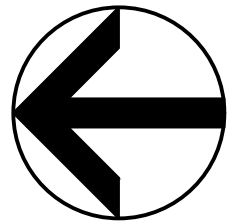
C WAY AND B WAY
SCALE 1:30



D WAY AND A WAY
SCALE 1:30

TENTATIVE MAP
PRELIMINARY FIRE ACCESS PLAN
NAPA PIPE BLOCKS 16, 19, & 22

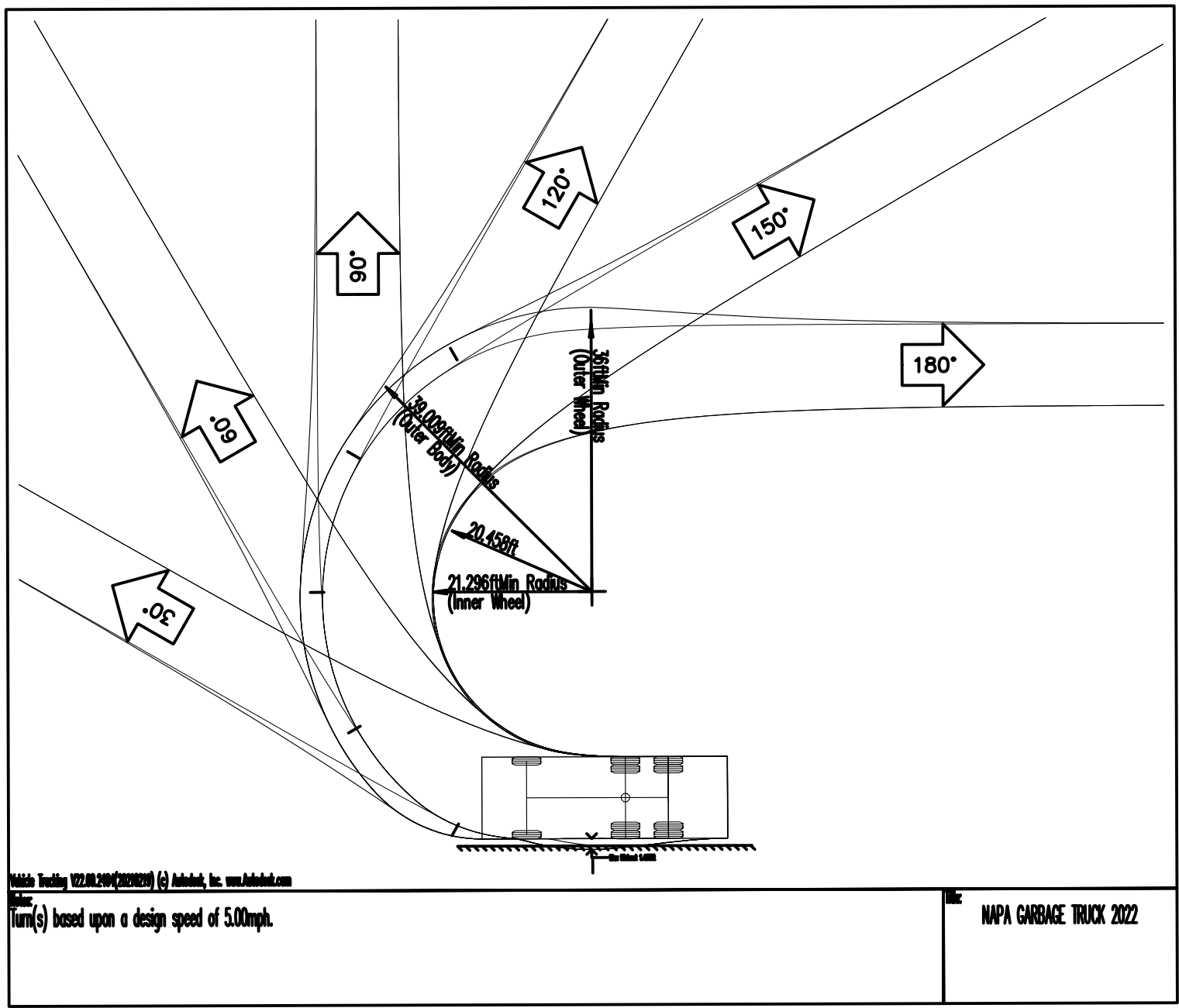
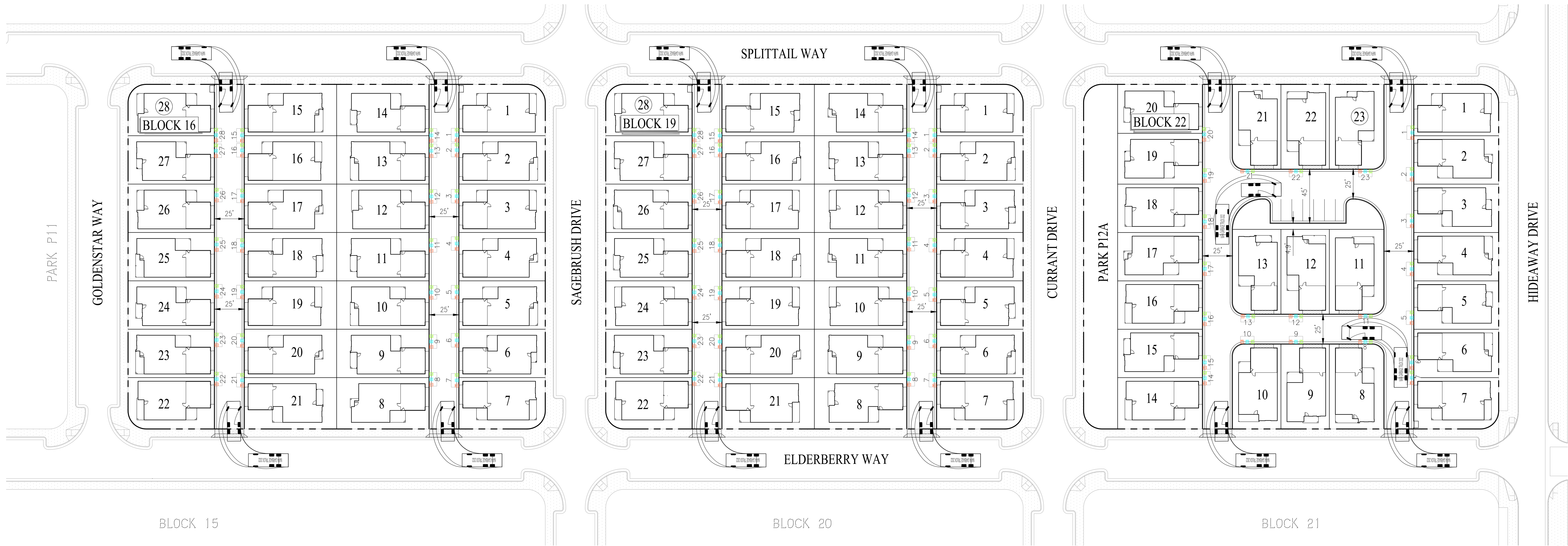
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SCALE: 1" = 40' DATE: SEPTEMBER 30, 2022



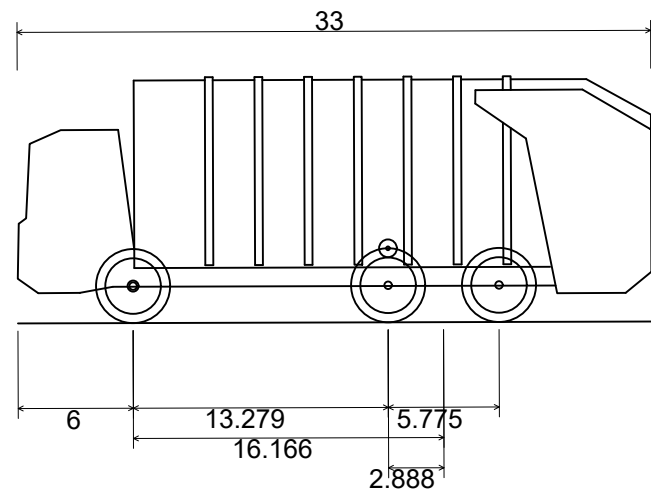
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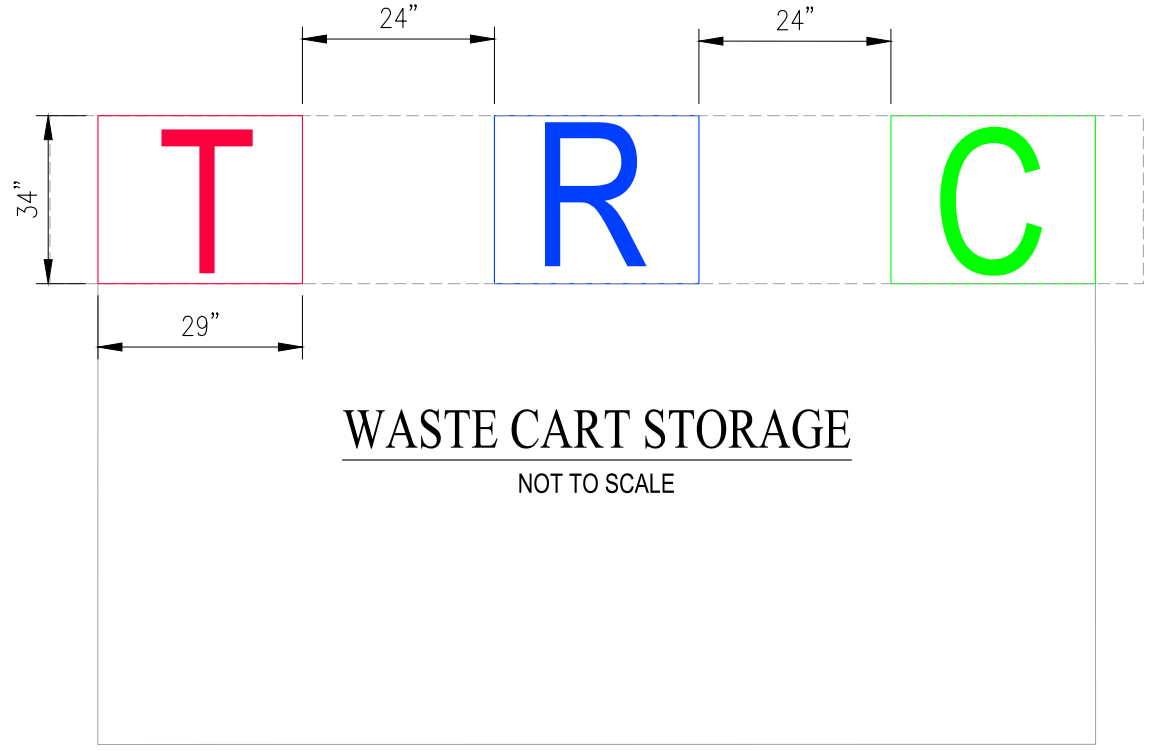
JOB NO.: 3439-010



COLLECTION VEHICLE TURNING TEMPLATE
NOT TO SCALE



NAPA GARBAGE TRUCK 2022
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius



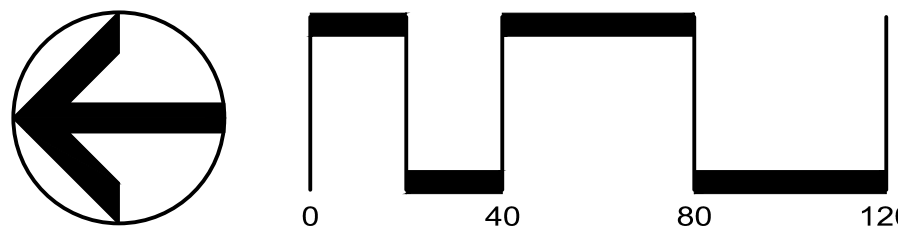
LEGEND

- T TRASH CART
- R RECYCLING CART
- C COMPOST CART
- Assigned Unit Number

NOTE:
DIMENSIONS FOR CONTAINERS ARE BASED ON 95 GALLON CARTS.
SIZE HEIGHT WIDTH DEPTH FOOTPRINT
95-GALLON 47.0-INCH 29-INCH 34.0-INCH 6-SF (ROUNDED)

TENTATIVE MAP
TRASH COLLECTION PLAN
NAPA PIPE BLOCKS 16, 19, & 22

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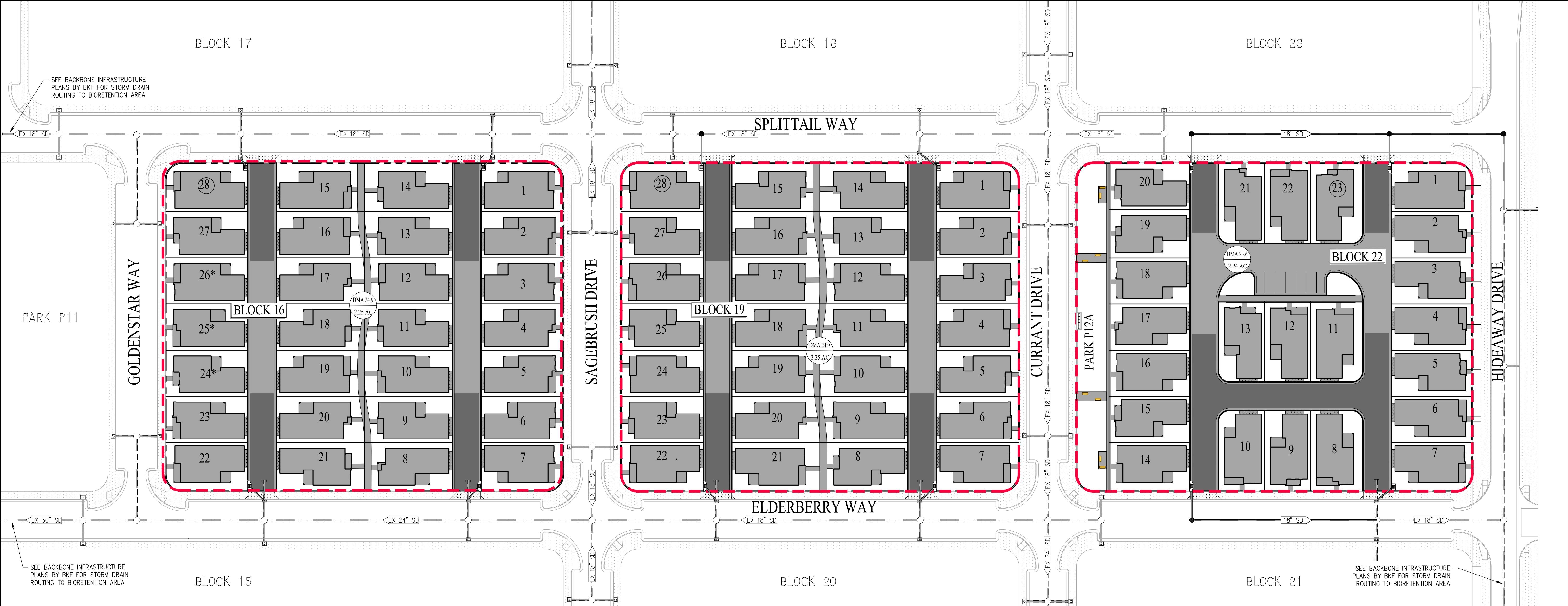


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JOB NO.: 3439-010



BLOCK 16	
BUILDING	49,865 SF±
WALKWAYS	3,915 SF±
STREETS (IMPERVIOUS)	7,110 SF±
STREETS (PERVIOUS)	7,140 SF±
LANDSCAPE	30,045 SF±
TOTAL	98,075 SF±
% OF IMPERVIOUS	62.1%
% OF PERVIOUS	37.9%

BLOCK 19	
BUILDING	49,910 SF±
WALKWAYS	3,920 SF±
STREETS (IMPERVIOUS)	7,110 SF±
STREETS (PERVIOUS)	7,140 SF±
LANDSCAPE	30,025 SF±
TOTAL	98,105 SF±
% OF IMPERVIOUS	62.1%
% OF PERVIOUS	37.9%

BLOCK 22	
BUILDING	40,820 SF±
WALKWAYS	3,900 SF±
STREETS (IMPERVIOUS)	11,045 SF±
STREETS (PERVIOUS)	11,105 SF±
LANDSCAPE	30,690 SF±
TOTAL	97,560 SF±
% OF IMPERVIOUS	57.2%
% OF PERVIOUS	42.8%

LEGEND

- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
- IMPERVIOUS AREA
- PERVIOUS PAVEMENT AREA

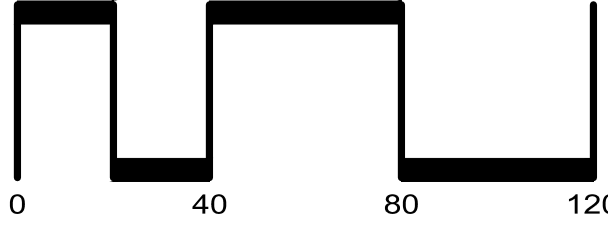
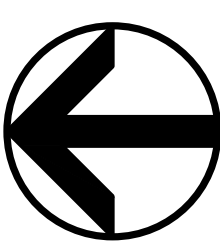
TENTATIVE MAP

PRELIMINARY STORMWATER CONTROL PLAN

NAPA PIPE BLOCKS 16, 19, & 22

CITY OF NAPA NAPA COUNTY CALIFORNIA

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SHEET NO.

C11.0

OF 11 SHEETS

JOB NO.: 3439-010