

Linda and Penland Parks
4036 Browns Valley Rd.
Napa, CA 94558

April 5, 2017

Re: 4036 Browns Valley Road, Napa, CA - APN: 041-337-027
Initial Assessment for Historic Significance for an existing residential structure with existing additions and recommended nomination for Listing on the City of Napa Historic Resources Inventory (HRI)

INTRODUCTION:



Sarah Van Giesen, Preservationist, of Napa Design Partners (NDP) completed an architectural and historical evaluation of the property at Browns Valley Rd, Napa, Napa County, California, as requested by the property owner, Linda and Penland Parks. Buildings on the property include late 19th / early 20th century dwelling, historic carriage house (turned into garage) and original pump house (relocated) and the historic landscaping which includes several of the original Pecan orchard trees as well as the two historic palm trees.

In 2016, the Napa County Historical Society completed a “Brief Property History” document for 4036 Browns Valley Road, Napa which discussed the cultural history surrounding the property and those that lived and farmed on it.

The Parks home has not yet been included in City of Napa Historic Resources Inventory (HRI). If included in the HRI, as highly recommended by NDP, it therefore could be included in the California Register as a part of the local inventory.

The purpose of this Historic Assessment (HA) is to determine if the house / property possess enough historic integrity to get a nomination for listing to the City of Napa HRI. Further, this HA reviews the additions added to the historic home to evaluate if they meet the Secretary of Interior Standards for Rehabilitation, and if they have an effect on the eligibility for listing in the HRI or in the California Register as part of a local inventory.

The purpose of this report is to determine both if the original historic house (original cabin – now the kitchen - built approximately in 1884; Victorian Farm house addition built in the later 1880's) still retains its historic integrity and if the additions to the original historic residential structure meets the Secretary of Interior Standards for Rehabilitation.

The structures historic significance comes from its age, period of significance, rural location in the Napa Valley landscape, history of the People that lived on the land and architectural style – The Victorian Farmhouse. The residence is a typical example of the Victorian Era American farmhouse that has been well maintained. Determining the significance is described below:

REGULATORY CONTEXT

This study follows the requirements of the California Environmental Quality Act (CEQA), which mandate that cultural resources be considered as part of the environmental review process. Resources within the study area are inventoried and evaluated in terms of importance. Then an assessment of potential project effects is done for the resources found to be important.

Determinations of the resource's importance are discussed below. The recommended California Historical Resource Status Code this falls under:

Status Code 5:

Properties Recognized as Historically Significant by Local Government -

5S3 - Appears to be individually eligible for local listing or designation through survey evaluation.

It also appears that it could fall under this additional status code:

Status Code 3:

Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation -
3CS Appears eligible for CR as an individual property through survey evaluation

Significance Criteria

The California Register regulations define "integrity" as "the authenticity of an historic resource's physical identity, evidenced by the survival of characteristics that existed during the resource's period of significance" (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: location, design, setting, materials, workmanship, feeling and association. A property must retain most of these qualities to possess integrity. An Assessment of Integrity is included below.

STUDY PROCEDURES

In reviewing this resource, a previous study completed by the historians at Napa County Historical society was relied upon. In addition, online databases such as the Online Archive of California was searched. A detailed field examination of the resource with photographs was conducted as well. *Alterations to the resource were noted and described in the Property Description section of this report.*

HISTORICAL SETTING

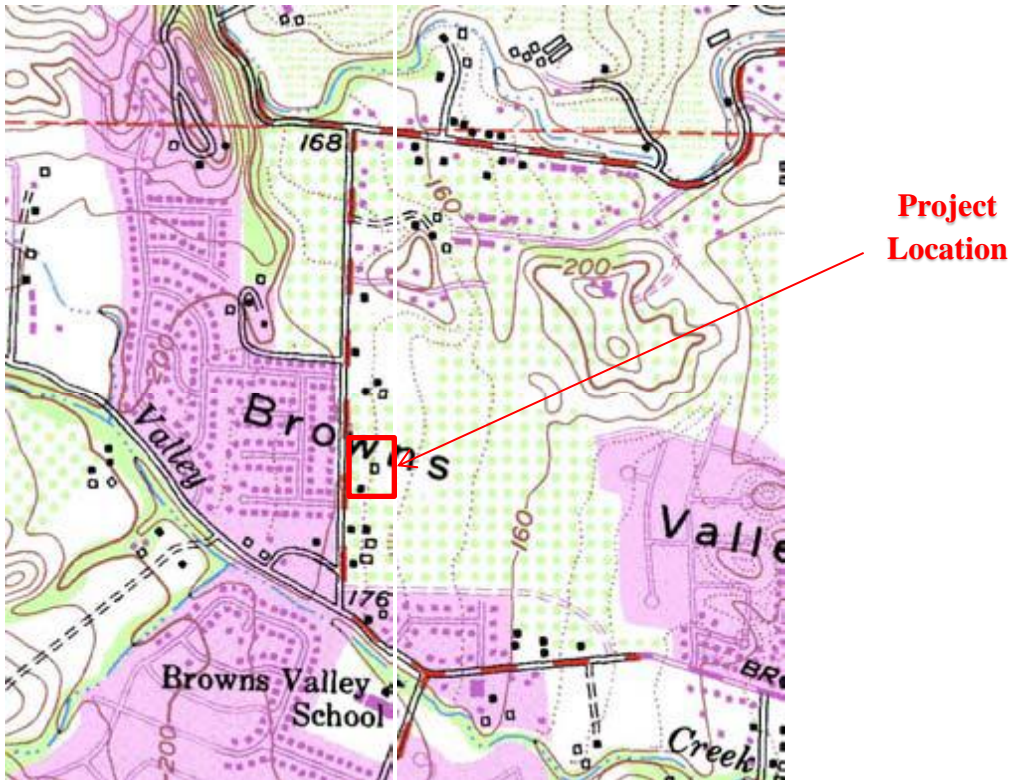


Image #1 – Map of USGS 1951 Napa Quadrangle, 7.5 Minute Series

The house at 4036 Browns Valley Road is approximately 3 miles west of the historic downtown Napa in The Browns Valley neighborhood. Napa's history is strongly tied to its agricultural roots, which began with the Mexican ranchos in the early nineteenth century. The area became an extremely important agricultural center during the Gold Rush and the Victorian era, with the wheat crops of the 1850s and 1860s replaced by fruit, nuts and vineyards in the 1880s. French prunes were introduced to California in 1883, popularizing dried fruits of all kinds. Orchards with plums, peaches, and apricots, and nut trees such as pecans, as well as olives and olive oil, were lucrative products for farmers towards the end of the Victorian era.

The remnants of small agricultural properties can be found throughout the city and represent rural farmsteads that were gradually enveloped by urban growth. Many still tend to be located on the outskirts of the city, or in neighborhoods with a more rural character such as Browns Valley. Victorian-era agricultural properties are a RARE property type, but are known to exist in Browns Valley, Lone Oak, and Spencer's Addition. The historical agricultural property at 4036 Browns Valley Road, still left in the City of Napa, is one of the more RARE examples of a Victorian-era agricultural property type that has maintained much of the original structures such as the residence, carriage house and pump house.

Further some of the historic landscape elements have been maintained and preserved, such as the historic palm and pecan trees on the property.

The house and property are NOT in any historic district.

(Information from "City Wide Historic Context Statement," Page & Turnbull, 2009)

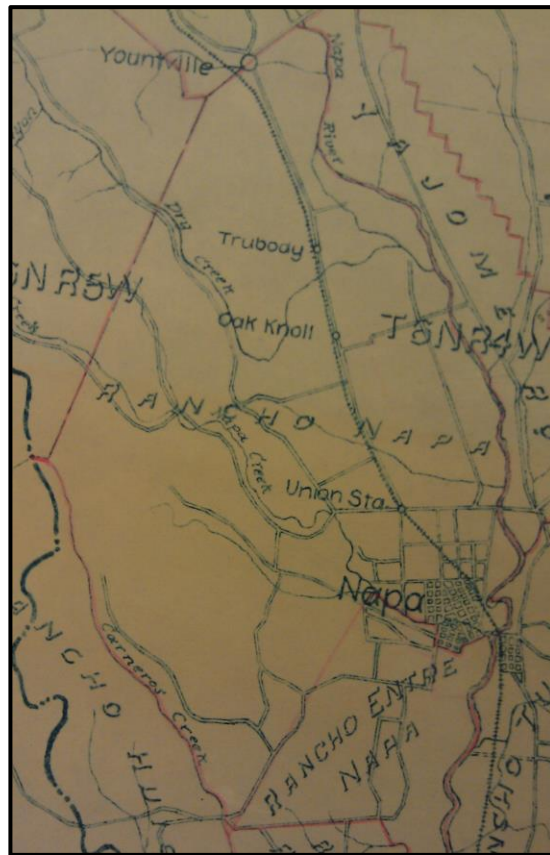


Image #2 – Pablo de la Guerra, Salvador Vallejo, and Andrés Pico; Date unknown (Napa County Historical Society)

Image #3 – Map of Rancho Napa; c. 1920, Napa (Napa County Historical Society)

The land on which the 4036 Browns Valley Road historic home sits on was part of the nearly 23,000 acre land grant known as Rancho Napa, one of the largest land grants in Napa County history and owned by a member of the famous Vallejo family. Rancho Napa was originally granted to Don Salvador

del Mundo Vallejo, younger brother to the famous General Mariano de Guadalupe Vallejo, and his wife, Maria de la Cruz Carrilo on September 21, 1838, by Governor [Juan] Alvarado. Mariano de Guadalupe Vallejo, Salvador returned to Napa to find much of his original land grant taken over by squatters. In 1850, John E. Brown acquired some land from Salvador Vallejo in the Sothern part of Rancho Napa (this land will later be known as Browns Valley Road). In 1853, Don Salvador del Mundo Vallejo, and his wife, Maria de la Cruz Carrillo, again filed an additional claim for about 3,000 acres of their much larger original Rancho Napa. However, since the squatters would not be evicted, Salvador and his family went to live with his brother Mariano in Sonoma. Though Salvador del Mundo Vallejo never achieved the same riches, reached the same prominence nor became as highly regarded as his famous older brother, General Mariano de Guadalupe Vallejo, Salvador did lead a life full of adventure which directly affected important incidents in the early history of the Napa Valley. Salvador Vallejo was well educated, skilled in many handicrafts, owned and grazed about 6000 head of cattle and 2000 horses, and ran a very successful soap factory all in the Napa Valley.

The specific year the main house on the property was built remains a bit of an unknown. The Napa County tax records indicate it was built in 1884. The "Page and Turnbull City Wide Historic Context Statement" evaluated it as constructed in the 1880's. Further, the Napa County Historical Society have cited a former owner recalling it was constructed in 1894 and expanded in 1900. Based on the similarity of architecture to other Victorian-Era farm houses, the historic construction materials, the massing, and design details, NDP concurs that the house was most likely constructed in the late 1880's when it was owned by the William L. Maynard family. The Maynard family moved to Napa in approximately 1869 and purchased 58 acres where the current home is located. The original structure was a smaller cabin, which is now the current kitchen in the house. The Maynard family enlarged the cabin for their large family of seven to live in and most likely completed it before the matriarch, Adelia, died in 1889. Further, William Maynard gave then 18 acres of land, on which now stands the house, to his unwed daughter in 1897 who undoubtedly needed a home in which to live. The Maynards farmed the land filled with orchards. The land and home was passed on to the Ruhls family in 1898 and then to the Joseph Daniel & Lenora A. Willems family in 1903. The Willems family owned the land for close to 40 years and turned the land into a very successful orchard which included Pecan trees, of which some of the original trees are still on the property.

(For a more detailed history about the people that lived on and developed 4036 Browns Valley Rd, see the *"4036 Browns Valley Road, Napa – Brief Property History"*, by Napa county Historical Society, 2016).



Image #4 – Photograph of the tank house and windmill. Back of photograph states: "Tank house and windmill on the J.D. Willems Ranch 4036 Browns Valley Road". Photograph taken on March 25, 1968 by Charles M. Loring. (Courtesy Napa County Historical Society)



Image #5 – Map of Napa County Parcel Map, 1876

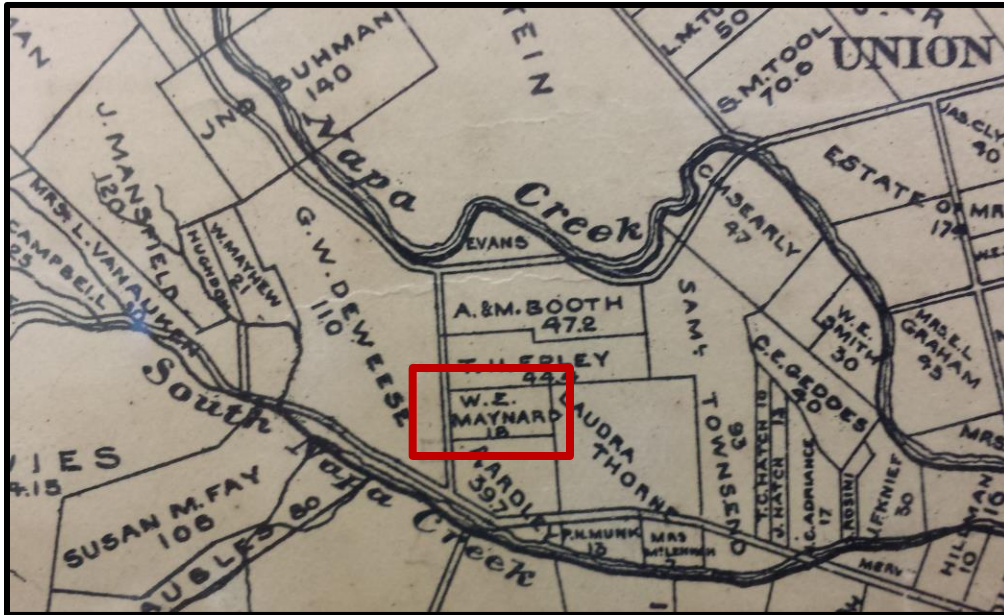


Image #6 – Map of Napa County Parcel Map, 1895



Image #7 – Map of Napa County Parcel Map, 1915

HISTORICAL CONTEXT

The significance of a historic property can be judged and explained only when it is evaluated within its historic context. Historic contexts are those patterns or trends in history by which a specific occurrence, property, or site is understood and its meaning (and ultimately its significance) within history is made clear. The house can best be evaluated within the context of the Residential Property Types, 1860 to 1900.

Evolution of Residential Architecture, Victorian Napa (1860 to 1900)

Residential architecture in Napa includes a wide range of architectural styles reflecting the lives of many economic classes. The earliest dwellings were adobe houses and rustic cabins built from locally available materials.

In the mid-19th century, people from all over the world flocked to California due to the discovery of gold at Sutter's Mill in Coloma, California. Over 300,000 people flooded into the sparsely populated territory. Prior to the Gold Rush, life in California revolved around ranching on a grand scale, with vast acres of land tied up in Mexican *ranchos*. *Rancho* homes were typically made of adobe-brick, often one-storied, and L- or U-shaped or built around a courtyard.

As Napa grew with the influx of new residents, homes became more sophisticated.

Architecturally defined styles such as the Victorian-era Italianate, Second Empire, Gothic, Greek Revival, Queen Anne, and vernacular forms carpenter built homes. In addition, "Builder Style" or vernacular working-class homes were widespread throughout the United States, chiefly because they were promoted by pattern book designers, constructed in great numbers by early developers. Most houses in Napa's residential neighborhoods were constructed for middle- or working-class residents, with only a few for the city's elite.

Napa grew steadily throughout the Victorian era as people continued to settle and more businesses were established in the town. Transportation, infrastructure, and social services were greatly improved, and by 1880, Napa had a bustling downtown and a population of approximately 4,000. Napa was officially incorporated on March 23, 1872, as the "Town of Napa City," and was reincorporated on February 24, 1874, as the "City of Napa."

Less common Victorian-era residences include farmhouses and workers' cottages, originally located on farms and ranches constructed when the city boundaries were less expansive and development was not as dense. These farmhouses, such as the Parks Residence, were originally located on large agricultural parcels with associated agricultural outbuildings, but have since been enveloped by residential growth, such as the Browns Valley Neighborhood. Physical characteristics of these residences reflect typical Victorian-era architectural trends, and are usually of modest design.

PROPERTY DESCRIPTION



Image #8 – 1975: note the then historic palm trees are just out of the frame. (Napa County Historical Society).



Image #9 – Present day: image taken at similar spot – note the historic palm trees are so tall that they are now out of the frame.

American farmhouses had a straightforward construction designed to function amidst a working farm in a rural setting. The project site was a successful working Pecan orchard farm with many outbuildings including a water tower, carriage house, barns, pump house and main residence. The Parks residence at 4036 Browns Valley Rd. is a typical example of a two-story Victorian Era American farmhouse that has been beautifully and passionately maintained. It is a country home style that highlights the simplicity of rural living. The Farmhouse of this era was usually situated back from the road and accessed from a driveway, such as seen with the Parks Residence. As you approach the home, one notices another very distinctive feature of the Farmhouse of the era – the front porch. The Victorian Farmhouse usually had a very large front porch or wraparound porch with the door centered, second-floor dormer windows and a gable roof that often runs parallel to the main road. These large porches were originally designed to help cool the interior of the home also provide a shady spot for guests to gather and enjoy the outdoors. Based on historic photos, details of construction, and age of materials, the decorative porch railing, the porch columns and the dormer windows all appear to be the original construction.

The minimally ornamental, simple one over one double hung windows with Ogee lugs, found on all facades, and was typical of the basic architecture of a Victorian country farmhouse home and most is the original windows. The first floor one over one double hung windows, with ogee lugs, are the original windows in good working condition. Whereas the second floor windows were in disrepair and were replaced within the past 5 years. The Dormer windows and the front porch helped to increase interior light in the bedrooms and living spaces. The architecture of a country home is simple in ornamentation but very efficient as you see at 4036 Browns Valley. Large, symmetrical windows help

to accentuate the exterior and bring the outside in. The exterior is typically faced with horizontal siding such as the Channel Rustic found on the Parks residence.

Farmhouse floor plans are usually square or symmetrically shaped, sometimes with side wings. The typical large Farmhouse footprint makes it well suited for large lots, though examples of this style can be found in many areas around the country, including urban environments. The Parks residence is a simple rectangle house with later sensitive additions from 1990, that create the “side wing” very typical of the Victorian Era farmhouse. The original floor plan wall locations have changed very little over time and currently the home has 5 bedrooms (one in the 1990 addition, with in suite bathroom) and 5 bathrooms (2 of which are more historic bathrooms). The single family residence operates as an occasional Vacation Rental and has a City of Napa approved permit to do so. The Parks live in their home full time.

The interior of a Farmhouse boasts a large "country kitchen" on the main floor and a cluster of bedrooms on the upper level. The Parks residence has the country kitchen at the rear of the house in the original cabin/cottage portion of the house. Farmhouses contain at least one fireplace and large family gathering areas designed for relaxation. The Parks Residence fireplace has the original hearth and the stones are in good condition and well pointed. This country home is casual, functional and comfortable. Influenced by a number of different home styles, the Farmhouse is an elegant fixture in America's landscape, and this Parks residence is an excellent example of just this in the “rural” setting in the City of Napa.

After our inspection and discussion with the owners, it was noted that the only damage from the August 24, 2014 earthquake to the original portion of the home was some minor cracking. There was no significant structural or exterior damage.

INTERIORS:



Image #10 – view into kitchen beyond; original fireplace with mantle and built in hutch to right.
Image #11 – view into newer dining room addition and towards the original central staircase.



Image #12 – View down the staircase, notice the wall is lined with the original beadboard.

Image #13 – View towards dining room addition - notice the trim, mantle, built-in hutch and window trim beyond all match in stain color to tie it all together.

The Parks have maintained and passionately renovated most of the original key interior elements that define the dwelling's incremental development which characterize the Victorian Era farmhouse. The straightforward materials, finishes and features have been saved and renovated to a high quality of detail. This residence has the typical sprawling informal farmhouse plan with a few kitchen entrances, large living spaces, a central staircase and spacious upper-level rooms defined by the roof's gables and dormers.

All the door and window trim is original and has been refinished and stained to match the original hue of stain. The Parks have saved, sanded and repainted most of the original panel doors. The majority of door and window hardware is original and cleaned of any paint. The walls have been repainted regularly where they are covered with lath and plaster. The original bead board wainscoting and ceiling finish is preserved throughout the house and repainted as well. The original hard wood floors were stripped of carpet and paint and refinished to the original honey colored luster.



Images #14– view into front living room / parlor– note the original doors and wainscoting.

Images #15 & #16 – original door hardware and door; bedroom upstairs with beadboard ceiling/walls.

The painted rough limestone fireplace with a dark-stained wood mantel, the staircase with a dark-stained wood newel post and handrail, the variety of wood trim and cabinet hardware are also original and renovated. Of note, the fireplace has a beautiful original built-in hutch, with original glass fronts and metal cabinet hardware, which has also been stained to match the other wood trim and mantle pieces.

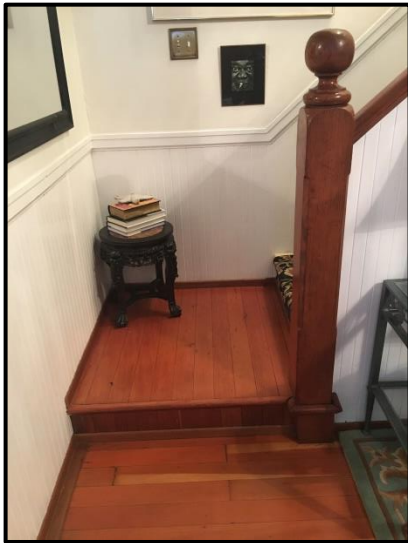


Image #17 – original wood floor and newel post. Notice original beadboard wainscoting.

Image #18 – built-in hard wood hutch with original glass fronts and cabinet hardware.

Image #19 – original local rough limestone stone fireplace; used also on exterior chimney

ADDITIONS:



Image #20 – newer addition with dining room; note historically sensitive double-hung windows.

In 1990, the owner proposed and constructed contemporary additions at the least visible South side and East rear elevation of the house. They wanted to add a larger more gracious first floor dining room and an additional first floor spacious bedroom with an in-suite bathroom and its own private entrance.

NDP reviewed the design and project drawings for the attached first floor Bedroom and Dining room additions designed by Architect Jay Golick and constructed in 1990. The hand-drawn set includes a very basic plot plan, plans, elevations, Title 24 information and details (see Attached Appendix 1). It shall be noted that the historic house as well as the additions sustained little damage from the August 24, 2014 earthquake. The lack of damage was assisted by the seismic upgrades to the foundation replacement on the historic home which was completed prior to the purchase by the Parks.



Image #21 – dining room addition at original historic portion with bedroom addition beyond.

Image #22 – separation of additions at the connection at original kitchen and Victorian farmhouse.

Image #23 – connection of dining room addition at original historic portion of house.

The additions to the historic home were done in very historically sensitive manners by setting the structures back from all original facades to show that they were constructed at a different time and help to differentiate the transition from old to new materials. The size, scale and proportion of the additions work well to pay deference to the importance of the original home. The additions are in an excellent location to minimize the visual impact on the original form of the historic house. The more recent additions are NOT easily viewed from the public right of way. The materials used, colors, finishes, windows and doors are all complimentary to the original house and don't deter from the integrity of the original design details and overall character.

The South and East sides are the least visible elevations that are obscured from Browns Valley Road. The additions are also done in a manner that are sensitive to the house to the south and maintain a lower height and generous setback from the property lines. The addition of the new bedroom with in-suite bathroom is easily accessible at the rear of the historic home from the parking and provides the guests with a private entrance.



Image #24 – new addition of private bedroom with private entrance.

The below excerpt from “PRESERVATION BRIEFS – 14: New Exterior Additions to Historic Buildings: Preservation Concerns,” *National Park Service, August 2010*, states why NDP believes the addition locations and designs do not deter from the integrity of the historic home.

Designing a New Exterior Addition to a Historic Building:

This guidance should be applied to help in designing a compatible new addition that that will meet the *Secretary of the Interior’s Standards for Rehabilitation*:

- A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building—a recessed connector can help to differentiate the new from the old. *The location and design details of the additions blend seamlessly into the historic residence fabric but remain differentiated from the old by the simple “connector” spots that are lower than the historic roof lines.*
- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition. *The locations of the additions are on the least visible South and East sides of the historic residence.*
- The construction materials and the color of the new addition should be harmonious with the historic building materials. *The additions have the same channel rustic horizontal siding, use the same scale of trim for windows and eaves, have been painted to match, have the same roof material, and have simple one over one double hung windows all to compliment the historic residence.*
- The new addition should be smaller than the historic building—it should be subordinate in both size and design to the historic building. *Both roof peaks on the additions are lower than the original historic residence. The massing is held back from the original width of the façade. Each addition is a one story massing with a roof slope that matches or is lower than the original roof slope.*

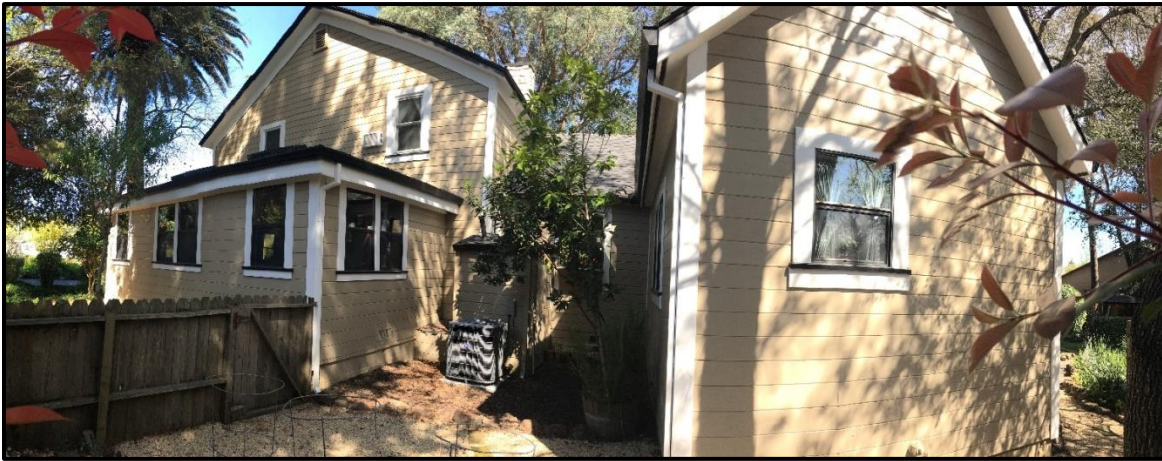


Image #25 – Full view of the connections and separation of the two distinct additions.

Browns Valley Road (West) Elevation - Front:

Although not high style like other residences from the Victorian era, the front façade is the most ornate and detailed of all the elevations. This vertical front façade is oriented towards Browns Valley Road, and still has the original front porch which extends the majority of the front elevation, typical of a character defining feature of a Victorian-era Farm house. The porch is in the original location; however has a new slab on grade floor. The interesting wood railing patchwork pattern has been maintained and preserved. The beveled wood columns are original. The front door is original and has been refinished and preserved. As was customary at this time for agricultural properties, the house, thus this elevation, was significantly setback from the road, and only approached through the still existing crescent drive-through driveway. The house further maintains the feeling of a rural property with the buffer of dense vegetation and the canopy of mature trees including the historic Palm and Pecan trees. This elevation maintains much of its original architectural integrity.

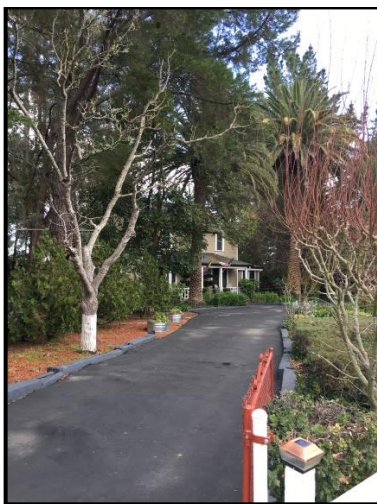


Image #26 – view looking south towards driveway and parking spaces at front of house.

Image #27 – view looking East to the front elevation – note the setback and large mature trees.



Image #28 – View to front of house looking north – east.



Image #29 & #30 – Looking at front elevation from north side of driveway and looking at front elevation from south side of driveway.



Image #31 – view looking south at original front porch. Original railing and beveled columns.
Image #32 – original one over one double hung windows with ogee lugs. Original window trim.

Image #33 - view looking north at original front porch. Original bead board ceiling.

Side Yard – (South) Elevation:

This elevation is the least visible and most private of all the elevations. It was the most appropriate elevation on which to add the additions. By separating the two additions into two separate massing, the overall integrity of the historic structure is maintained and easily differentiated from the newer additions. It is clear what is old and what is new.



Image #34 – connection of dining room addition at corner, matches setback of historic porch.

Image #35 – view looking west to dining room addition with bedroom addition to right.



Image #36 – separation of the two distinct additions; note the original chimney stone beyond.

Image #37 – view looking east of the private bedroom addition with in-suite bathroom.

East Elevation – Rear Yard:

The rear existing elevation, the least visible by others, clearly shows the differentiation between old and new through the roof lines. This elevation has the addition of the Private entrance room off the back of the house and most connected to the garden and with the easiest access to and from its private entrance to the parking area. The windows and doors blend well in size, scale and color to blend with the cohesion of the overall design.



Image #38 – Single room addition at south side of kitchen (original cottage/cabin)

Image #39 – Addition of porch/deck on north side of original cottage cabin; note rooflines & chimney.



Image #40 – relocated original pump house (now dog house); large garden at east side of property.

Image #41 – Back (east) elevation of historic carriage house – now used as garage; note large double doors at right - no longer in use.

Side Yard - (North) Elevation:

This elevation has the unique perspective of allowing one to see where the original cabin/cottage attaches to the larger Victorian farmhouse. The lower smaller original portion of the structure houses the now expanded kitchen. This elevation is also much obscured from Browns Valley because of the mature vegetation and the large canopies from the historic trees including the Palms and three remaining historic Pecan trees. The elevation is the most utilitarian in location and form. The driveway and parking about the landscaping on this side of the home as well as the original carriage house, a now converted garage. This elevation connects the parking area to the back garden and pool/spa area. This elevation also has two entrances into the kitchen for easy access for transferring of supplies. In addition this location provides the access to the private suite addition on the East side of the residence.

The landscaping and hard scape is well maintained and sensitive to the era of the home and the neighborhood. The Garden has natural stone pavers, stone beds, flower beds, etc. The hedges and bushes are well pruned. The historic trees are well maintained and pruned regularly.



Image #42 – view looking south from driveway and parking area. Note the lack of any view to the two later added additions. Note a clear distinction of the addition of the historic Victorian farmhouse to the original cottage/cabin.



Image #43 – view looking south across parking area; note the large Palm trees at right side of image.
Image #44 – view looking south to kitchen connection to 2 story structure; note centrally located historic chimney.



Image #45 – view looking east from Browns Valley road looking into rear driveway and parking area.
Image #46 – view looking east to west elevation of historic carriage house. Note: The structure is covered with the original board and batten materials, the battens were hand hewn and not consistent dimensioned lumber. The only updates that have been done to the structure have been replacing the roofing materials, adding new garage doors on the west façade, and performing periodic painting of the exterior.

CONCLUSION

The purpose of this evaluation is to determine if the dwelling on this property is historically significant, which when based on the California Register criteria, could be nominated for listing on the city of Napa Historic Resources Inventory (HRI). A resource acquires significance with its association with an important event or pattern of history; through association with an important person; because it represents a particular type, period, region, or method of construction, the work of a master, or possesses high artistic values; or because it contains information that can be studied to enhance our understanding of history.

In addition to meeting at least one of these criteria, eligibility for listing in the California Register requires that a resource retain sufficient integrity to convey a sense of its significance or importance.

Assessment of Significance

After examining the site, studying the research and reports on this property, the following conclusions were reached regarding individual significance of this dwelling using the four California Register criteria.

Criterion 1

"Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States." In order to be considered important under Criterion 1, the property must be able to convey its importance in events or patterns that are significant in federal, state, or local history. This property is not directly tied to a particular event or pattern of events and therefore **does not meet Criterion 1.**

Criterion 2

"Associated with the lives of persons important to local, California or national history." This property is associated with persons noted to be important to local and state history. In addition, the family name is known nationally as well as being an instrumental figure in the fighting for and formation of early California. The original Rancho Napa, on which this property sits, was originally granted to Don Salvador del Mundo Vallejo, younger brother to the famous General Mariano de Guadalupe Vallejo. General Vallejo and Salvador Vallejo were a part of the formation of early California. They were both in the Army fighting for Mexico to retain its control over California. Both brothers were imprisoned after the Bear Flag revolt of Sonoma, CA. Salvador Vallejo owned the land that this house site is located. This property is tied to the lives of some important persons that were a part of the turmoil surrounding and the initial formation of the state of California. **Therefore, it could meet Criterion 2.**

Criterion 3

"Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values." The architectural significance of this house is recognized as an excellent example of a rural Victorian –era Farmhouse that has several of its original structures intact. The original historic home is in excellent condition and has retained most of the significant material, details and finishes.

This is discussed further under below Assessment of Integrity. **The property meets Criterion 3 as a good example of a Victorian-era Farmhouse, rare in the City of Napa.**

Criterion 4

"Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation." Since Criterion 4 generally applies to archaeological resources or to resources that provide information about construction details that cannot be obtained in other ways, this property **does not meet Criterion 4.**

Assessment of Integrity

The California Register regulations define "integrity" as "the authenticity of an historic resource's physical identity, evidenced by the survival of characteristics that existed during the resource's period of significance" (State Office of Historic Preservation, 1997). These regulations specify that integrity is a quality that applies to historic resources in seven ways: location, design, setting, materials, workmanship, feeling and association. A property must retain most of these qualities to possess integrity.

1. **Location**: *The house is in its original location so retains integrity of location.*
2. **Design**: *The small additions at the side and rear of the property are largely obscured from the view when approaching the original front, West, entrance to the home. The house retains the majority of the original windows, doors and horizontal siding. The additions are smaller and located in a manner that reveals they are not an original part of the historic home.*
3. **Setting**: *The vestiges of small agricultural properties can be found throughout the city and represent rural farmsteads that were gradually enveloped by urban growth. Many still tend to be located on the outskirts of the city, or in neighborhoods with a more rural character. Victorian-era agricultural properties, such as the Parks property and historic residence, are a rare property type, but are known to exist in Browns Valley, Lone Oak, and Spencer's Addition. So the setting in this late 19th Century rural neighborhood retains some of its original feeling of setting. However, it is now surrounded by new infill residences and not fields of grazing animals and rows of Pecan orchards. The property does not meet the setting integrity.*
4. **Materials**: *This dwelling retains integrity of materials since it retains most of its original siding, many of the original windows, and the original porch columns and railing, original chimney and much of the original interior finishes/details.*
5. **Workmanship**: *The Craftsmanship of the original home was a well-crafted Victorian Farmhouse. The additions were done to create a seamless sense of quality of materials and attention to details. Workmanship retains integrity.*
6. **Feeling**: *The overall form of the dwelling is still communicated from the public right of way, and the single family residential neighborhood feeling retains excellent integrity.*
7. **Association**: *maintains original association to time period, quality of design and construction - The additions were done tastefully and in a manner, that matches the historic character of the home. The roof slopes match the original slope or are at a lower level than the original roof. This property retains integrity of association.*

The dwelling at 4036 Browns Valley retains integrity of Location, Design, Materials, workmanship, Feeling and Association, and lacks integrity of Setting. Overall the property retains six of seven qualities of integrity.

California Environmental Quality Act Findings

The property at 4036 Browns Valley Road meets Criterion 3 for inclusion on the California Register and retains adequate integrity to convey a sense of its significance or importance.

Secretary of the Interior's Standards Compliance and Recommendations

Local governments in California generally reference compliance with The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, in the design review conditions and/or negative declaration for projects. Compliance with these guidelines avoids any negative impacts on the existing buildings.

Upon my review as a local preservationist, I believe the property as described should be nominated for listing on the City of Napa Historic Resources Inventory. The Ownership has exhibited their commitment to stay in keeping with Secretary of Interior Standards for the Treatment of Historic Properties design guidelines. We applaud the Ownership for going to great efforts to renovate the home while keeping as many original windows as possible and as much of the original historic character intact. The ownership continues to exhibit the passion and commitment it takes to appropriately renovate and maintain a historic property. I believe this property will be a quality addition to the HRI and will therefore remain a very RARE Victorian-era agricultural historic asset to the more "rural" environs of Browns Valley.

Prepared by:



Sarah L. Van Giesen
Preservationist
Designer / Project Manager
MA Architecture and Preservation and Planning

Local Background Information on Sarah L. Van Giesen, Preservationist

Ms. Van Giesen has a Masters in Architecture with a certificate degree in Historic Preservation and Planning. Ms. Van Giesen has worked on various Historic Preservation projects over the last twenty years in areas such as Berkeley, Oakland, San Francisco, Seattle and Sonoma and Napa Counties. To focus her desire to preserve the historic fabric of the City of Napa, Ms. Van Giesen joined the Cultural Heritage Commission in 2003 and was the VP of Napa County Landmarks, Inc. for four years. Ms. Van Giesen continues to serve on the CHC and as a member of the board of NCL. Ms. Van Giesen also sat on the Downtown Specific Plan Steering Committee for two years as the Preservation Professional. Ms. Van Giesen continues to work on many of Napa's notable Preservation projects such as the Goodman Mansion.

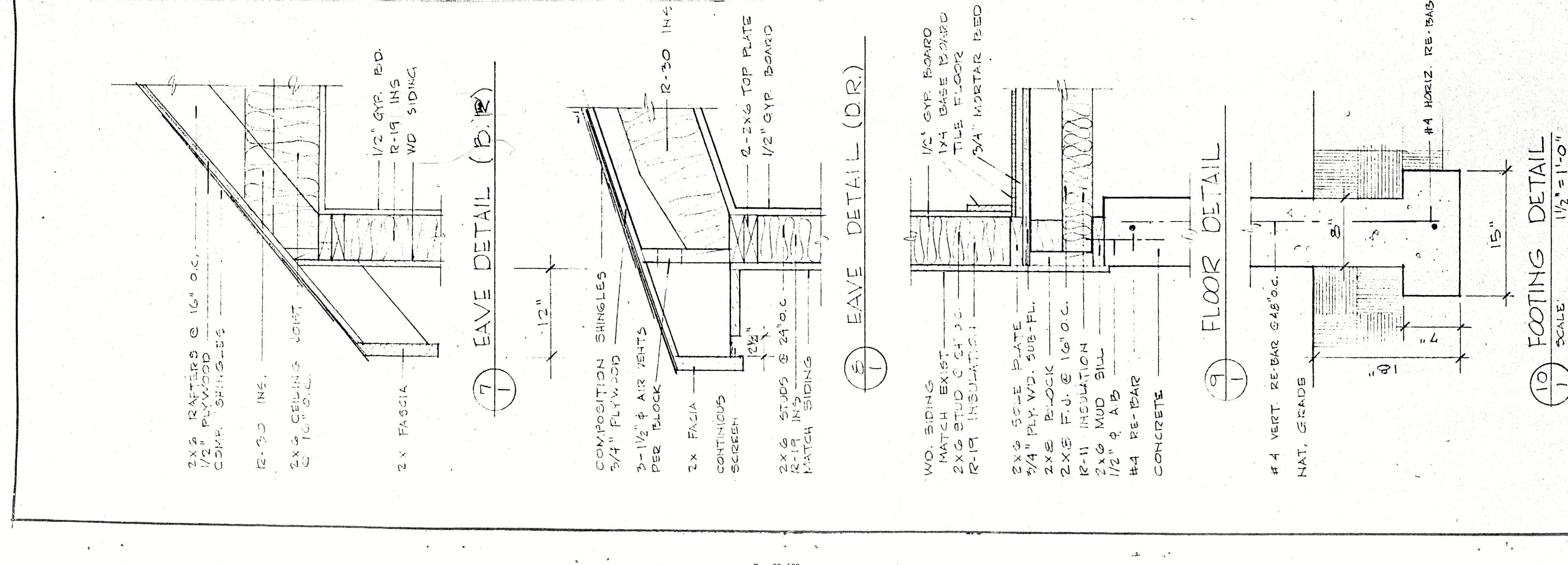
Local Background Information on Stephen R. Cuddy AIA, LEED AP – Principal at NDP

A practicing architect with significant historic preservation experience, totaling more than 32 years. Since moving to Napa in 1998, has participated in and/or had memberships in both the National Trust for Historic Preservation and the California Preservation Foundation and recently stepped down as president and remains a current board member with Napa County Landmarks, Inc. over the past decade. In addition, along with a fellow Landmarks board member, Mrs. Mary Ellen Boyet, was instrumental, while serving as General Plan Update Steering Committee Members, in the recognition of "historic preservation" in the adopted Napa County General Plan Update. Was a part of the follow up committee meetings to facilitate the adoption of Napa County's first historic preservation ordinance.

Notable City of Napa Preservation Projects – Historic Napa Mill & Napa River Inn Complex, First National Bank (Ristorante Allegria) and the Historic Goodman Library which suffered significant damage during Napa's 2014 earthquake as well as the Historic Gordon Building with it's beautiful terra cotta masonry detailing.

MATERIALS CONSULTED

1. 36 CFR Part 800: Protection of Historic Properties, Advisory Council on Historic Preservation, 1986.
2. California CEQA Guidelines, amended 1 February 2001.
3. California CEQA Statute, amended 1 January 2002.
4. California Governor's Office of Planning and Research, "Thresholds of Significance: Criteria for Defining Environmental Significance: CEQA Technical Advice Series," September 1994.
5. "4036 Browns Valley Road, Napa – Brief Property History," Napa County Historical Society, 2016.
6. How to Apply the National Register Criteria for Evaluation Bulletin, U.S. Department of the Interior, National Park Service, by the staff of the National Register of Historic Places, finalized by Patrick W. Andrus, edited by Rebecca H. Shrimpton, (1990, Revised 1997, Revised for Internet 2002).
7. Instructions for Recording Historical Resources, California Office of Historic Preservation, March 1995.
8. National Register Bulletins 14, 15 and 16A (National Park Service 1990b, 1991) NRHP Status Codes.
9. The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, (1995), Weeks and Grimmer.
10. City Wide Historic Context Statement, City of Napa, Page & Turnbull, Inc. September 2009.

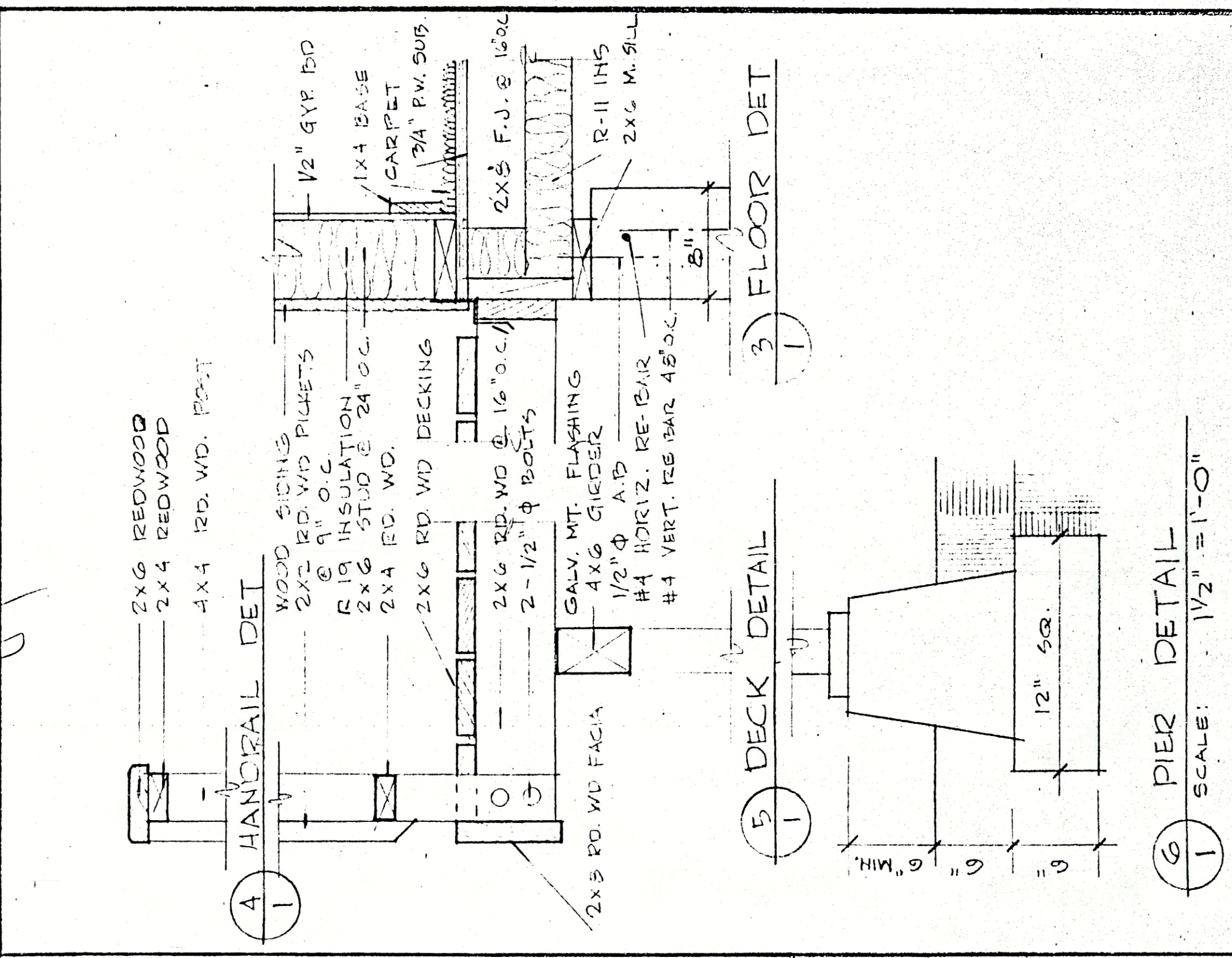


- GENERAL NOTES**
- THE CONTRACTOR AND SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND GRADE ELEVATIONS AT THE JOB SITE THOROUGHLY IN ADVANCE OF THE WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - THE ARCHITECT DOES NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE, AND NO PROVISIONS OF THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR FROM ANY LIABILITY DUE TO NEGLIGENCE, INCOMPETENCE, OR ERRORS OF OMISSION OR COMMISSION OF THE CONTRACTOR.
 - ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE PERFORMANCE OF THE PROJECT. INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BEING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
 - ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS OF WHICH THE CONTRACTOR IS ADVISED BEFORE THE ARCHITECT BEGINS CONSTRUCTION AND/OR FABRICATION OF THE WORK.
 - CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC., ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
 - REINFORCING STEEL TO BE ASTM 615 GRADE 40.
 - LAP ALL REINFORCING STEEL 40 DIAMETERS AND 16" AT THE CORNERS UNLESS NOTED OTHERWISE ON THE PLANS.
 - CONCRETE PROTECTION FOR REINFORCING STEEL: 3" OF CONCRETE BETWEEN STEEL AND GROUND CONTACT SURFACE IN FOOTINGS; 2" OF CONCRETE BETWEEN STEEL AND GROUND CONTACT SURFACE IN FORMED CONCRETE, AND FOR EXPOSED WALLS ABOVE GRADE 1 1/2" OF PROTECTION.
 - MUDSILLS TO BE FOUNDATION GRADE REDWOOD OR PRESSURE-TREATED DOUGLAS FIR, BOLTED TO FOUNDATION WITH 1" ROUND X 10" ANCHOR BOLTS AT 4' MAX. SPACING AND 12" FROM EACH CORNER AND SIDES UNLESS NOTED OTHERWISE ON THE PLANS. ALL MUDSILLS SHALL BE TREATED WITH AN APPROVED PRESERVATIVE. ALL EXTERIOR SURFACES OF TREATED LUMBER, SUCH AS EXPOSED JOISTS, SHALL BE THOROUGHLY PAINTED WITH THE PRESERVATIVE MATERIAL USED IN THE TREATMENT OF THE LUMBER.
 - ALL STRUCTURAL WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S GENERAL NOTES AND CALCULATIONS. ALL STRUCTURAL LUMBER SHALL BE GRADE MARKED AND IN CONFORMANCE WITH THE STANDARD GRADING RULES FOR THE WEST COAST LUMBER INSPECTION BUREAU RULE NO. 16.
 - ALL STRUCTURAL PLYWOOD SHALL BE DOUGLAS FIR WITH EXTERIOR GLUE AND CONFORM TO THE SPECIFICATIONS AS SET FORTH BY THE AMERICAN PLYWOOD ASSOCIATION UNLESS NOTED OTHERWISE ON THE PLANS.
 - ALL PLYWOOD FLOORS TO BE 3/4" D.F.P.A., T & G, PANEL INDEX 32/16. GLUE AND NAIL WITH RING SHANK NAILS TO FLOOR JOISTS, UNLESS NOTED OTHERWISE ON THE PLANS.
 - FRAMING CONNECTORS NOTED ON THE PLANS USE 'SIMPSON' COMPANY NUMBERS.
 - ALL WALLS CONTAINING PLUMBING PIPES WITH A LARGER DIAMETER THAN 2" SHALL BE CONSTRUCTED FROM 2x6 FRAMING MEMBERS.
 - WALL BRACING: ALL WALLS SHALL BE TEMPORARILY BRACED UNTIL JOISTS OR RAFTERS ARE NAILED IN PLACE. SUFFICIENT ADDITIONAL BRACES SHALL BE ALSO EMPLOYED TO MAINTAIN THE PLUMBNESS, SQUARENESS AND STRAIGHTNESS OF ALL WALLS UNTIL THE CONSTRUCTION HAS ADVANCED TO A POINT WHERE ALL PORTIONS OF THE BUILDING ARE HELD RIGIDLY IN THE PROPER POSITION; DIAGONAL BRACE ALL EXTERIOR AND INTERIOR LOAD BEARING WALLS AT CORNERS AND NOT LESS THAN EVERY 25 LIN. FT. UNLESS NOTED OTHERWISE ON THE PLANS.
 - FIREBLOCK AND BLOCKING: (MAXIMUM CONCEALED SPACE - 10" 0") AT MID-HEIGHT, BOXED EAVES AND FLOORS, AS WELL AS SOFFITS, BLOCK AT 2" 0" O.C. BEHIND ALL SIDING. BLOCK MID-HEIGHT ALL WALLS TO RECEIVE STUCCO.
 - NAIL PER UBC CHAPTER 25; REFER TO TABLE 25-P.
 - EXTERIOR PLASTERING PER UBC CHAPTER 47.
 - ALL DRYWALL TO BE INSTALLED PER UBC CHAPTER 47.
 - MISCELLANEOUS BOLTS AND STEEL CONNECTIONS PER UBC CHAPTER 27.
 - ALL EXTERIOR AND BATHROOM ELECTRICAL RECEPTACLES TO BE G.F.I. INSTALLED (GROUND FAULT INDICATOR).
 - ALL MANUFACTURED WINDOWS WILL MEET THE 'AIR INFILTRATION STANDARDS' OF A.N.C.I. AND WILL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THIS REGULATION.
 - INSULATION INSTALLER WILL FURNISH AN APPROVED FORM (FIGURE 4-1, TITLE 24 DESIGN MANUAL) FILLED OUT AND SIGNED BY BOTH THE INSTALLER AND THE CONTRACTOR.
 - PROVIDE BACKING AS REQUIRED FOR BATHROOM ACCESSORIES, ELECTRICAL FIXTURES, WALL-HUNG CABINETS, AND AT ALL JOINTS BETWEEN CERAMIC TILE AND DRYWALL.

| AREA OF ADDITION | |
|------------------|-------------|
| DINING ROOM | 275 SQ. FT. |
| BEDROOM WING | 224 SQ. FT. |
| TOTAL AREA | 499 SQ. FT. |

| GLASS | |
|-------------------------|--------------|
| REMOVED WINDOWS (GLASS) | 15 SQ. FT. |
| NEW WINDOWS (GLASS) | 84.5 SQ. FT. |
| ALLOWABLE GLASS (16%) | = 80 SQ. FT. |

- T I T L E** 2 4
- MANDATORY FEATURES - ADDITION**
- Building Envelope**
- Doors and windows between conditioned and unconditioned space must be fully weatherstripped.
 - The following openings in the building envelope shall be caulked and sealed:
 - Exterior joints around window and door frames.
 - Between exterior wall sole plates and floors and between exterior wall panels.
 - Penetrations in walls, ceilings, and floors for plumbing and electrical distribution systems.
 - All other openings in the building envelope.
 - Manufactured doors and windows must be labeled and certified per ANSI, AAMA, NWMA, FHDA, or ASTM standards.
 - Exhaust fans shall have backdraft or automatic dampers.
 - If a masonry or factory-built fireplace is installed, it shall have the following:
 - Closable metal or glass doors covering the entire opening of the firebox, except that a door is not required if it would interfere with any device, permanently installed in the fireplace, that is designed to increase the circulation of heat.
 - A flue damper with a readily accessible control.
- Heating and Cooling**
- If heating is to be accomplished by extending ducts from an existing forced air unit, no equipment sizing will be required.
 - If new heating equipment is needed, heat loss calculations must be prepared to size system.
 - New unit must be equipped with a programmable night set-back thermostat.
 - For new unit the make, model number and BTU output must be shown on the plans. Select from the state approved list available in the building department.
 - Insulate all ducts according to Uniform Mechanical Code, chapter 10 of the 1975 edition.
- Lighting**
- General lighting in kitchens and baths shall have an efficiency of not less than 25 lumens per watt, except that luminaires used as the only lighting in baths are exempt from this requirement.
- CERTIFICATION**
- I certify that all of the above mandatory features have been incorporated into the project plans for this project, and that these plans comply with the Title 24 Energy Requirements.
- PLAN PREPARED *[Signature]* 2.20.91 DATE



ATTACHMENT 2

1

sheet

C. JAY COLK, ARCHITECT

4722 Redwood Road

Napa, California 94558, (707) 255-3252

registration no. C-4802

NAPA, CALIFORNIA

4036 BROWN VALLEY ROAD

MR & MRS PEN PARKS

255-9357

2

3.20.90

revisions

date

3.20.90

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