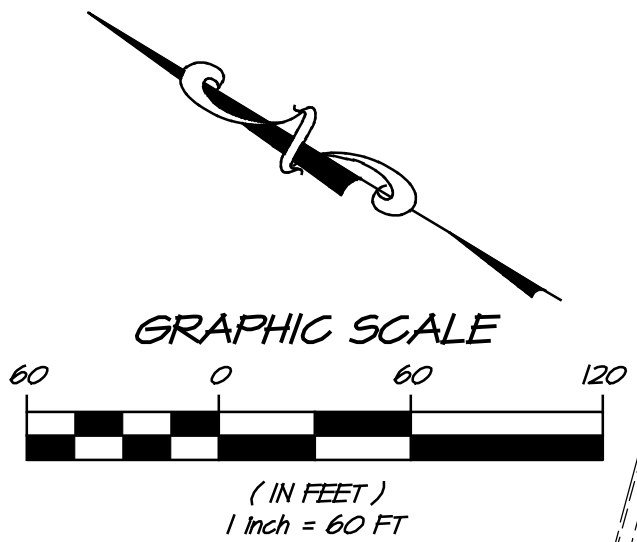


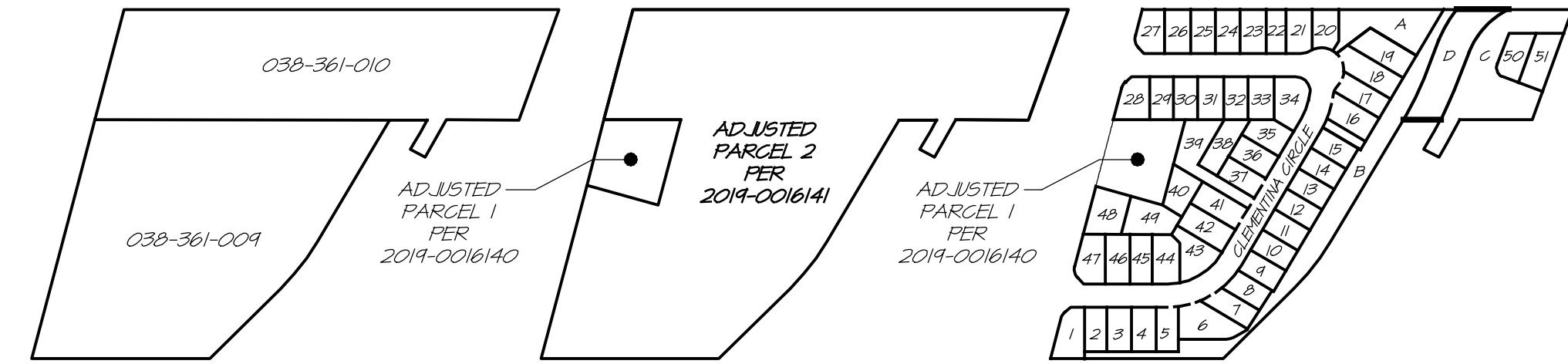
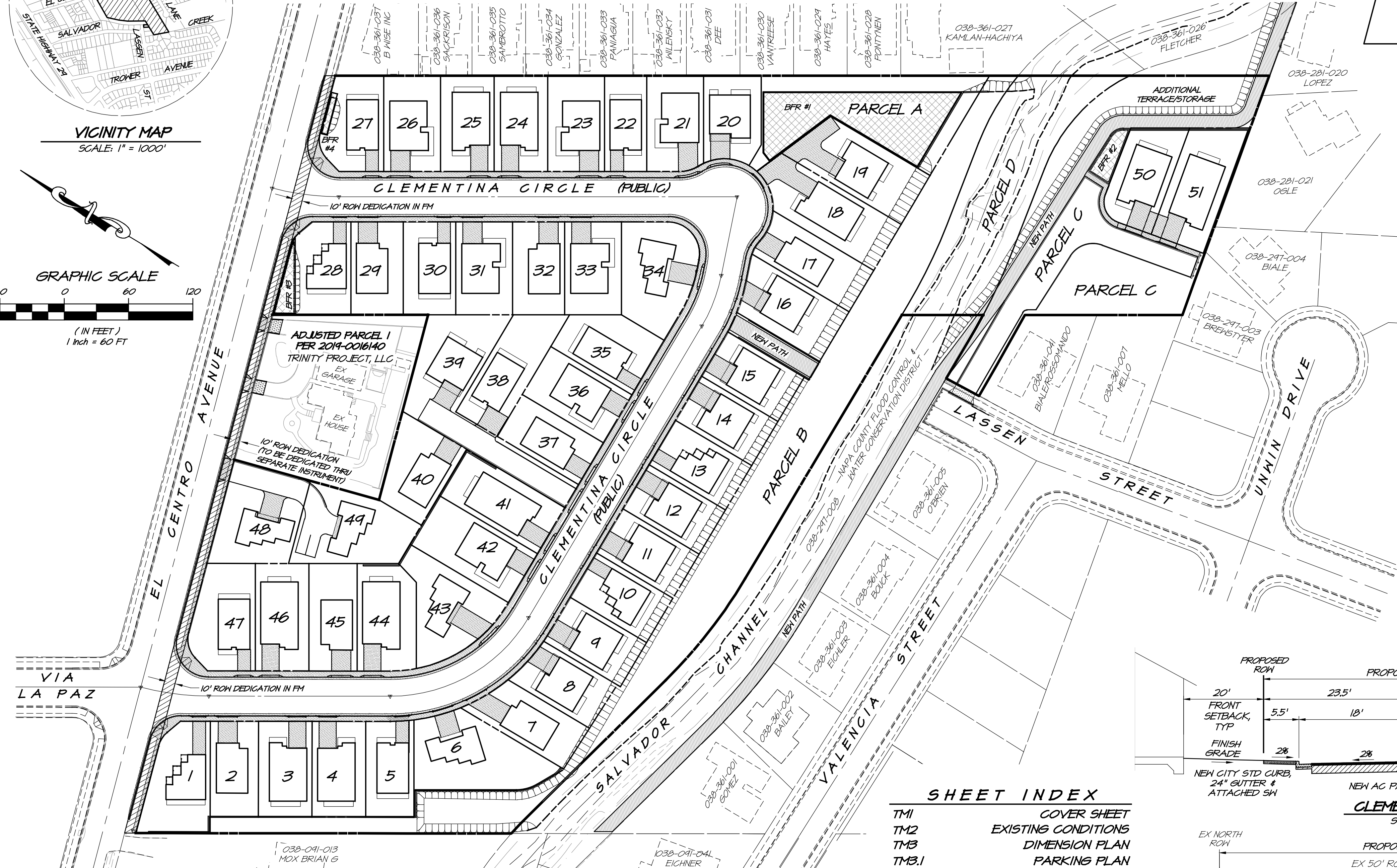
TENTATIVE SUBDIVISION MAP ZINFANDEL SUBDIVISION NAPA CALIFORNIA



VICINITY MAP
SCALE: 1" = 1000'



GRAPHIC SCALE
(IN FEET)
1 inch = 60 FT



FORMER PARCELS
SCALE: 1" = 300'

EXISTING PARCELS
(RECORDED LLA)
SCALE: 1" = 300'

PROPOSED PARCELS
SCALE: 1" = 300'

SYMBOL LEGEND

EXISTING	EXISTING	PROPOSED
EX 30' - EDGE OF PAVEMENT	EX AD 0 - AREA DRAIN	PROPOSED - EDGE OF PAVEMENT/CONCRETE
EX 30' - STORM DRAIN LINE	EX BO 0 - BLOW OFF	PROPOSED - WATER LINE
EX 30' - SANITARY SEWER LINE	EX DI 0 - DROP INLET	PROPOSED - STANDARD SIDEWALK
EX 30' - WATER LINE	EX HW 0 - WATER WELL	PROPOSED - STD CURB AND GUTTER
EX 30' - SANITARY SEWER MANHOLE	EX MB 0 - HOSE BIB	PROPOSED - STD WATER VALVE
EX 30' - STORM DRAIN MANHOLE	EX MH 0 - WATER METER	PROPOSED - DROP INLET
EX 30' - CURB AND GUTTER	EX GM 0 - GAS METER	PROPOSED - RETAINING WALL/CURB
EX 30' - CATCH BASIN	EX SSC 0 - SEWER CLEANOUT	PROPOSED - 100-YEAR OVERLAND RELEASE PATH
EX 30' - SIDEWALK	EX SL 0 - SEWER LATERAL	PROPOSED - FLOW DIRECTION
EX 30' - FIRE HYDRANT	EX NS 0 - WATER SERVICE	PROPOSED - STANDARD DRIVEWAY
EX 30' - WATER VALVE		PROPOSED - STREET MONUMENT
EX 30' - WOOD FENCE		PROPOSED - STORM DRAIN LINE
EX 30' - DRIVEWAY		PROPOSED - SANITARY SEWER LINE
EX 30' - CONTOUR LINE		PROPOSED - CATCH BASIN
EX 30' - SPOT ELEVATION		PROPOSED - FIRE HYDRANT
EX 30' - RETAINING WALL		PROPOSED - STORM DRAIN MANHOLE
EX 30' - STREET SIGN		PROPOSED - SANITARY SEWER MANHOLE
EX 30' - HANDICAP RAMP		PROPOSED - CURB RAMP
EX 30' - UTILITY VAULT		PROPOSED - SANITARY SEWER FLUSH HOLE
EX 30' - IRRIGATION CONTROL VALVE		PROPOSED - SLOPE AS NOTED ON PLANS

PROJECT INFORMATION

OWNERS:	TRINITY PROJECT, LLC 977 SALVADOR AVENUE NAPA, CALIFORNIA 94558
ARCHITECT:	KIRK BEYER 1038 ROSS CIRCLE NAPA, CALIFORNIA 94558 (707) 337-3025
LANDSCAPE ARCHITECT:	GSN LANDSCAPE ARCHITECTS, INC. 1700 SONGOL AVENUE, STE. 23 NAPA, CALIFORNIA 94559 (707) 255-4630
GEOTECHNICAL ENGINEER:	RGH CONSULTANTS 1305 NORTH DUTTON AVENUE SANTA ROSA, CALIFORNIA 95401 (707) 554-1072
ARBORIST:	FRANK, TREES AND ASSOCIATES, LLC P.O. BOX 25 NAPA, CALIFORNIA 94559 (707) 226-2804
CIVIL ENGINEER & SURVEYOR:	RSA+ 1515 FOURTH STREET NAPA, CALIFORNIA 94559 (707) 252-3301
PARCEL NO.:	ADJUSTED PARCEL 2 (RECORDED LLA)
PARCEL AREA:	9.56 ACRES
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
WATER:	CITY OF NAPA
SEWER:	NAPA SANITATION DISTRICT
EXISTING ZONING:	RS 4
PROPOSED ZONING:	RS 4
GENERAL PLAN DESIGNATION AT THE TIME OF PROJECT COMPLETION NOTIFICATION (JULY 1, 2021):	SFR-20

SHEET INDEX

TM1	COVER SHEET
TM2	EXISTING CONDITIONS
TM3	DIMENSION PLAN
TM3.1	PARKING PLAN
TM4	GRADING PLAN (North Portion)
TM5	GRADING PLAN (South Portion)
TM6	GRADING SECTIONS
TM7	UTILITY PLAN (North Portion)
TM8	UTILITY PLAN (South Portion)
TM9	STORMWATER CONTROL PLAN
TM10	ESCP SITE PLAN

SITE PLAN

SCALE: 1" = 60'

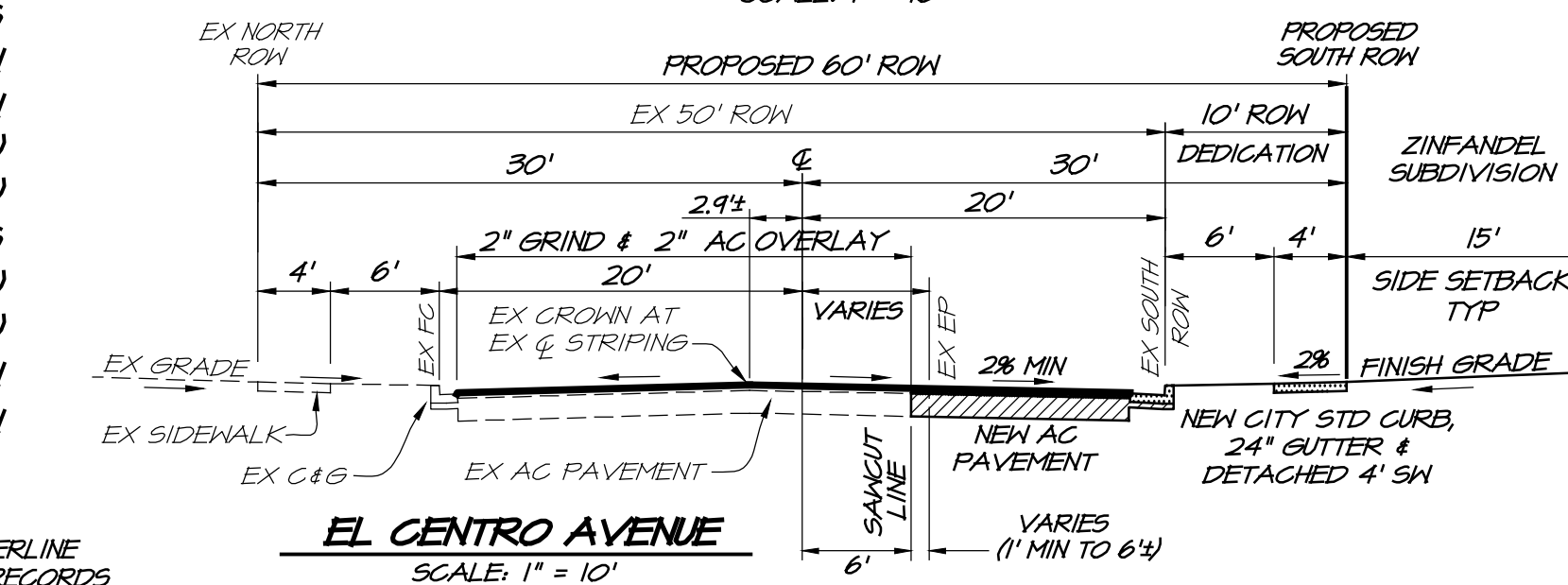
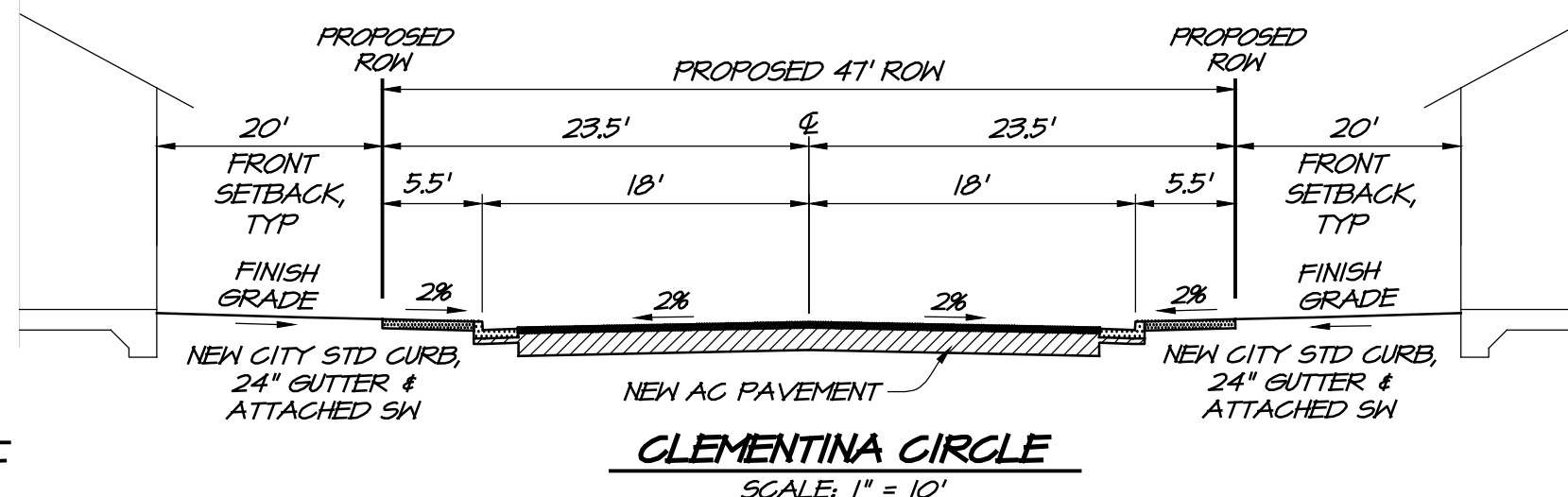
BASIS OF BEARINGS

THE BEARING OF NORTH 79°22'58" EAST BETWEEN THE FOUND MONUMENTS ON THE CENTERLINE OF EL CENTRO AVENUE PER BOOK 14 OF RECORD MAPS AT PAGE 100, NAPA COUNTY RECORDS AND BOOK 20 OF RECORD MAPS AT PAGES 7-10, NAPA COUNTY RECORDS.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWN ON THESE PLANS WAS COMPILED FROM A FIELD SURVEY BY RSA+ DONE ON JUNE 2017.

HORIZONTAL AND VERTICAL BENCHMARKS				
G.P.S. CONTROL COORDINATE DATA				
NAD 1983/NAVD 1988 PER 41 RS 44/47, NAPA COUNTY RECORDS				
#	GROUND NORTHING	GROUND EASTING	ELEVATION	DESCRIPTION
22	1882664.801	6470911.274	70.227'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & GASK DRIVE
26	1885246.580	6472246.291	70.212'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & SWEETBRIAR DRIVE (IN NORTHBOUND LANE OF JEFFERSON STREET)
27	1886684.244	6471049.718	76.951'	2" BRASS DISC IN WELL IN WESTBOUND LANE OF SALVADOR AVENUE AT JEFFERSON STREET
38	1883934.840	6474442.546	60.247'	3" BRASS DISC IN WELL AT INTERSECTION OF TRONER AVENUE & STOVER STREET

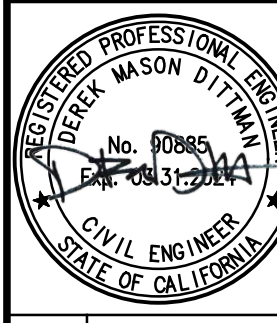


PROJECT NOTES

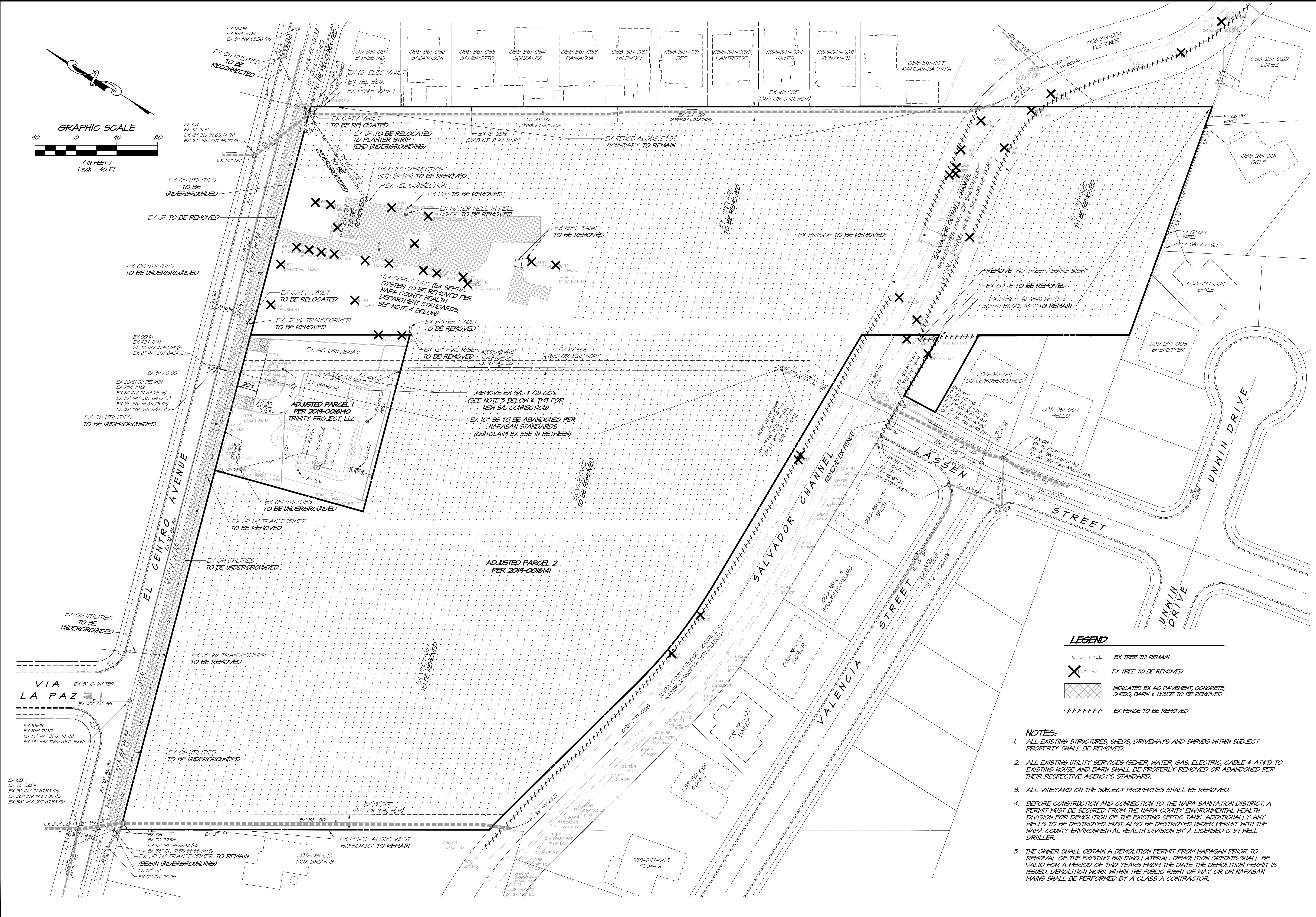
- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS FROM A FIELD SURVEY PERFORMED BY RSA+ IN JUNE 2017.
- BOUNDARY INFORMATION SHOWN IS FROM A RECORD OF SURVEY PERFORMED BY RSA+ IN OCTOBER 2017.
- PORTIONS OF THE SUBJECT PROPERTY DO LIE WITHIN THE 100 YEAR FLOODPLAIN PER THE BFE'S SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON SHEETS TM4 AND TM5.
- THIS MAP SHOWS ALL CONTIGUOUS PROPERTY OF THE OWNER.
- ONE RESIDENTIAL HOUSE AND A BARN EXIST ON THE SUBJECT PROPERTY.
- EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
- EXISTING AND PROPOSED UTILITIES ARE SHOWN. EXISTING UNDERGROUND UTILITIES AS SHOWN WERE DRAWN FROM RECORD SOURCES ONLY. BURIED PIPES WERE NOT VERIFIED, NOR WAS ANY SUBSURFACE EXPLORATION CONDUCTED.
- ALL EXISTING UTILITY POLES AND OVERHEAD LINES ALONG STREET FRONTAGE SHALL BE UNDERGROUND.
- CONTOUR LINES AS SHOWN ON SHEETS TM2, TM4 AND TM5 ARE AT 1 FOOT INTERVALS.
- THE EXISTING WELL FOR THE EXISTING HOUSE WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS A SEPTIC TANK FOR THE EXISTING HOUSE WHICH WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS NO PHASING PLANNED FOR THIS PROJECT.
- THERE ARE NO PUBLIC RECREATION SITES OR PARKS PROPOSED IN THIS SUBDIVISION. THERE ARE PATHS PROPOSED IN THIS PROJECT AS SHOWN ON PLANS.
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.

ABBREVIATIONS			
AB	AGGREGATE BASE	FM	FINAL MAP
AC	ASPHALT/CONCRETE	FT	FEET
AD	AREA DRAIN	GAR	GARAGE
ADA	AMERICAN WITH DISABILITIES ACT	GB	GRADE BREAK
APN	ASSESSOR'S PARCEL NUMBER	GF	GARAGE FLOOR
APPROX	APPROXIMATE	GM	GAS METER
AT&T	AMERICAN TELEPHONE & TELEGRAPH	GFS	GLOBAL POSITIONING SYSTEM
BASHAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION	GR	GRADE
BFE	BASE FLOOD ELEVATION	HB	HOSE BIB
BFP	BACKFLOW PREVENTER DEVICE	HOA	HOMEOWNERS ASSOCIATION
BIO	BIORETENTION	HP	HIGH POINT
BMP	BEST MANAGEMENT PRACTICE	ICV	IRRIGATION CONTROL VALVE
BO	BLOW OFF	INV	INVERT ELEVATION
BRF	BIORETENTION FACILITY	JP	JOINT POLE
BPM	BACK OF SIDEWALK	L	LENGTH
BW	BOTTOM OF WALL ELEVATION	LA	LOT LINE ADJUSTMENT
CATV	CABLE TELEVISION	LF	LINEAL FOOT/FEET
CB	CATCH BASIN	LP	LOW POINT
CI	CAST IRON	MAX	MAXIMUM
C	CENTERLINE	MB	MAILBOX
CO	CONCRETE	MIN	MINIMUM
CONC	CONCRETE	N	NORTH
CR	CURB RETURN	NAD	NORTH AMERICAN DATUM
CONFORM	CONFORM	NAPASAN	NAPA SANITATION DISTRICT
DET	DETENTION	NAV	NORTH AMERICAN VERTICAL DATUM
DIP	DUCTILE IRON PIPE	NCR	NAPA COUNTY RECORDS
DMA	DRAINAGE MANAGEMENT AREA	NCFNCID	NAPA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
E	EAST	NO	NUMBER
EG	EXISTING GRADE	OH	OVERHEAD UTILITIES
ELEV	ELEVATION	OR	OFFICIAL RECORDS
EP	EDGE OF PAVEMENT	P	PARKING SPACE
ELEC	ELECTRIC	PGL	PARCEL
EX	EXISTING	PAE	PRIVATE ACCESS EASEMENT
FB	FLAT BOTTOM ELEVATION	PGE	PACIFIC GAS & ELECTRIC
FC	FACE OF CURB	PR	PRIVATE
FF	FINISH FLOOR ELEVATION	PSDE	PRIVATE STORM DRAIN EASEMENT
FH	FIRE HYDRANT	PUE	PUBLIC UTILITY EASEMENT
FL	FLOW LINE	PVC	POLYVINYL CHLORIDE
		PVT	PRIVATE
		R	RADIUS
		RC	RETAINING CURB
		RC	REINFORCED CONCRETE PIPE
		RET	RETAINING
		ROW	RIGHT OF WAY LINE
		RW	RETAINING WALL
		RS	RECORD SURVEY
		S	SLOPE, SOUTH
		SCP	STORMWATER CONTROL PLAN
		SD	STORM DRAIN
		SDCO	STORM DRAIN CLEANOUT
		SDE	STORM DRAIN EASEMENT
		SDH	STORM DRAIN MANHOLE
		SDMS	STORM DRAIN METERING STRUCTURE
		SQ FT, SF	SQUARE FEET
		SFR	SINGLE FAMILY RESIDENCE
		SL	STREET LIGHT
		SL	SANITARY LATERAL
		SS	SANITARY SEWER
		SSCO	SANITARY SEWER CLEANOUT
		SSS	SANITARY SEWER EASEMENT
		SSPH	SANITARY SEWER FLUSH HOLE
		SSMH	SANITARY SEWER MANHOLE
		STD	STANDARD
		SW	SIDEWALK
		TA	TOTAL
		TA	TREATMENT AREA
		TC	TOP OF CURB ELEVATION
		TEL	TELEPHONE
		TEL	TELEPHONE POLE
		TYP	TYPICAL
		TM	TOP OF WALL
		UE	UTILITY EASEMENT
		VAR	VARIES
		W	WATER
		WM	WATER METER
		WS	WATER SERVICE
		WSE	WATER SURFACE ELEVATION
		WV	WATER VALVE

ZINFANDEL SUBDIVISION COVER SHEET CALIFORNIA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	TM1
1 OF 11 SHEETS	



NO.	DATE	REVISIONS	BY	APPD

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NAPA, CALIF. 94559
OFFICE 707.252.3301
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**ZINFANDEL SUBDIVISION
EXISTING CONDITIONS
CALIFORNIA**

NAPA

DATE SEPT 15, 2023

DRAWN DEL

DESIGNED RAY

CHECKED DMG

JOB NO. 4170110

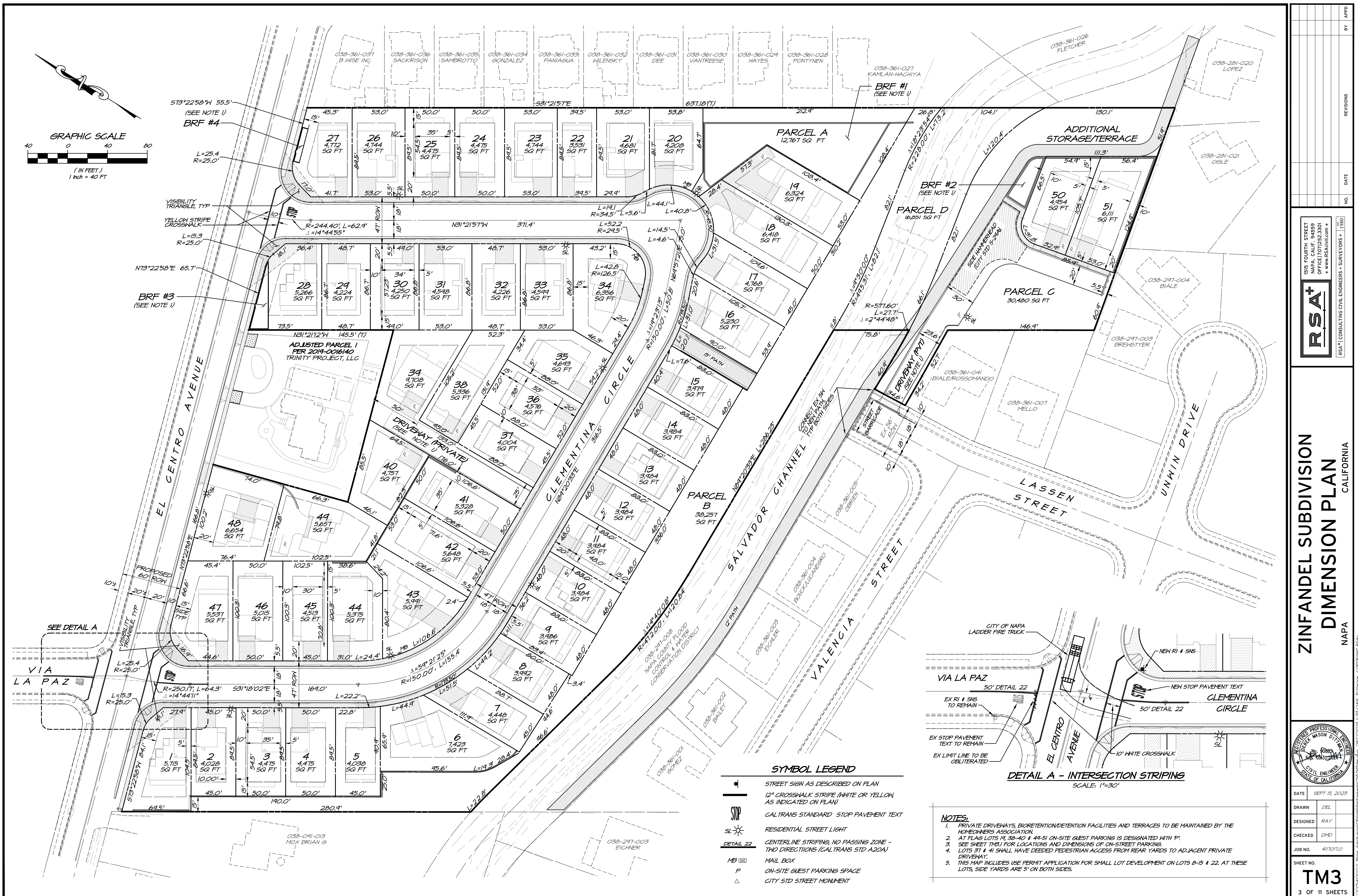
SHEET NO.

TM2

2 OF 11 SHEETS

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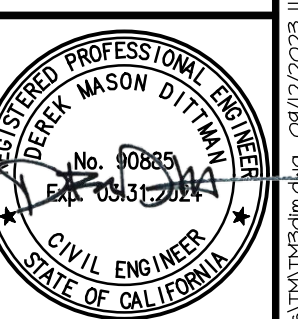
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ZINFANDEL SUBDIVISION DIMENSION PLAN

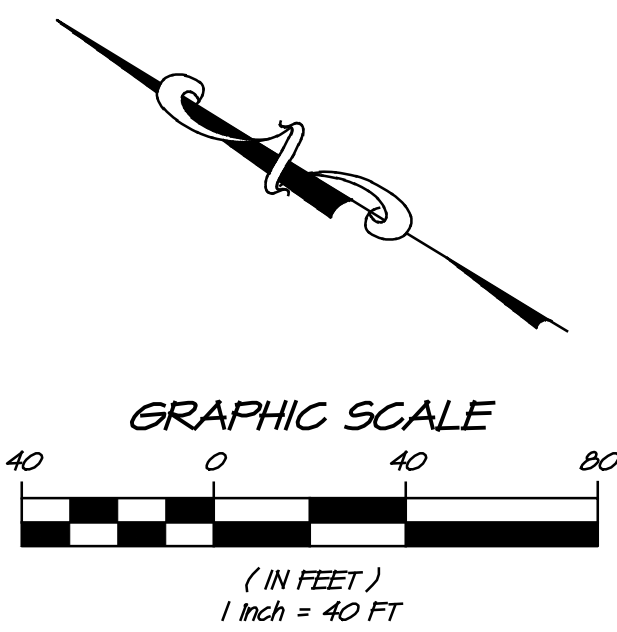
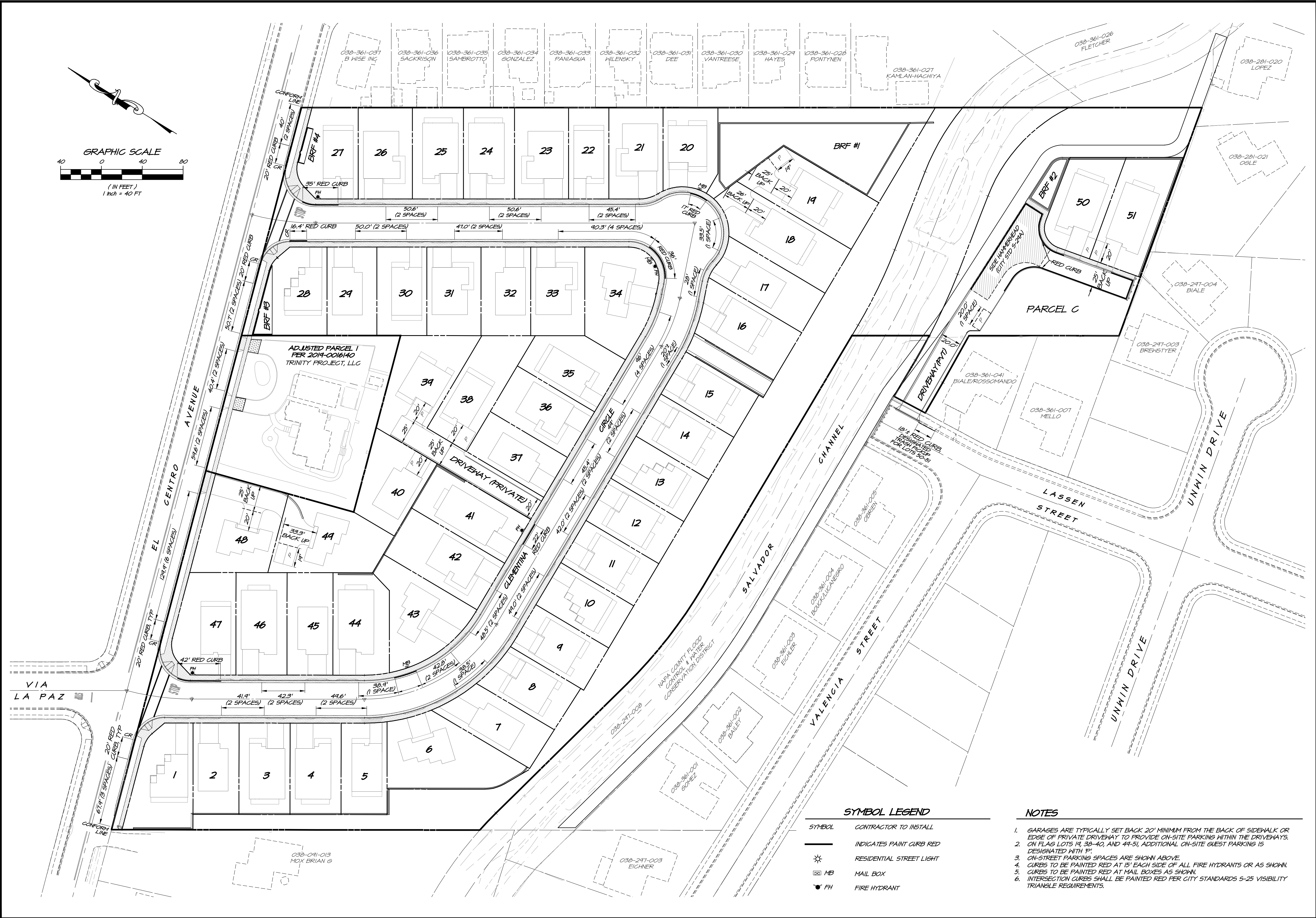
CALIFORNIA

NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	

TM3
3 OF 11 SHEETS



SYMBOL LEGEND	
—	CONTRACTOR TO INSTALL
—	INDICATES PAINT CURB RED
☼	RESIDENTIAL STREET LIGHT
MB	MAIL BOX
● FH	FIRE HYDRANT

- NOTES**
- GARAGES ARE TYPICALLY SET BACK 20' MINIMUM FROM THE BACK OF SIDEWALK OR EDGE OF PRIVATE DRIVEWAY TO PROVIDE ON-SITE PARKING WITHIN THE DRIVEWAYS.
 - ON FLAG LOTS 14, 38-40, AND 44-51, ADDITIONAL ON-SITE GUEST PARKING IS DESIGNATED WITH P1.
 - ON-STREET PARKING SPACES ARE SHOWN ABOVE.
 - CURBS TO BE PAINTED RED AT 15' EACH SIDE OF ALL FIRE HYDRANTS OR AS SHOWN.
 - CURBS TO BE PAINTED RED AT MAIL BOXES AS SHOWN.
 - INTERSECTION CURBS SHALL BE PAINTED RED PER CITY STANDARDS 5-25 VISIBILITY TRIANGLE REQUIREMENTS.

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ZINFANDEL SUBDIVISION
PARKING PLAN
CALIFORNIA

NAPA

REGISTERED PROFESSIONAL ENGINEER
DEVELOPER MASON DITTMER
No. 98885
DATE 04-11-2014
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

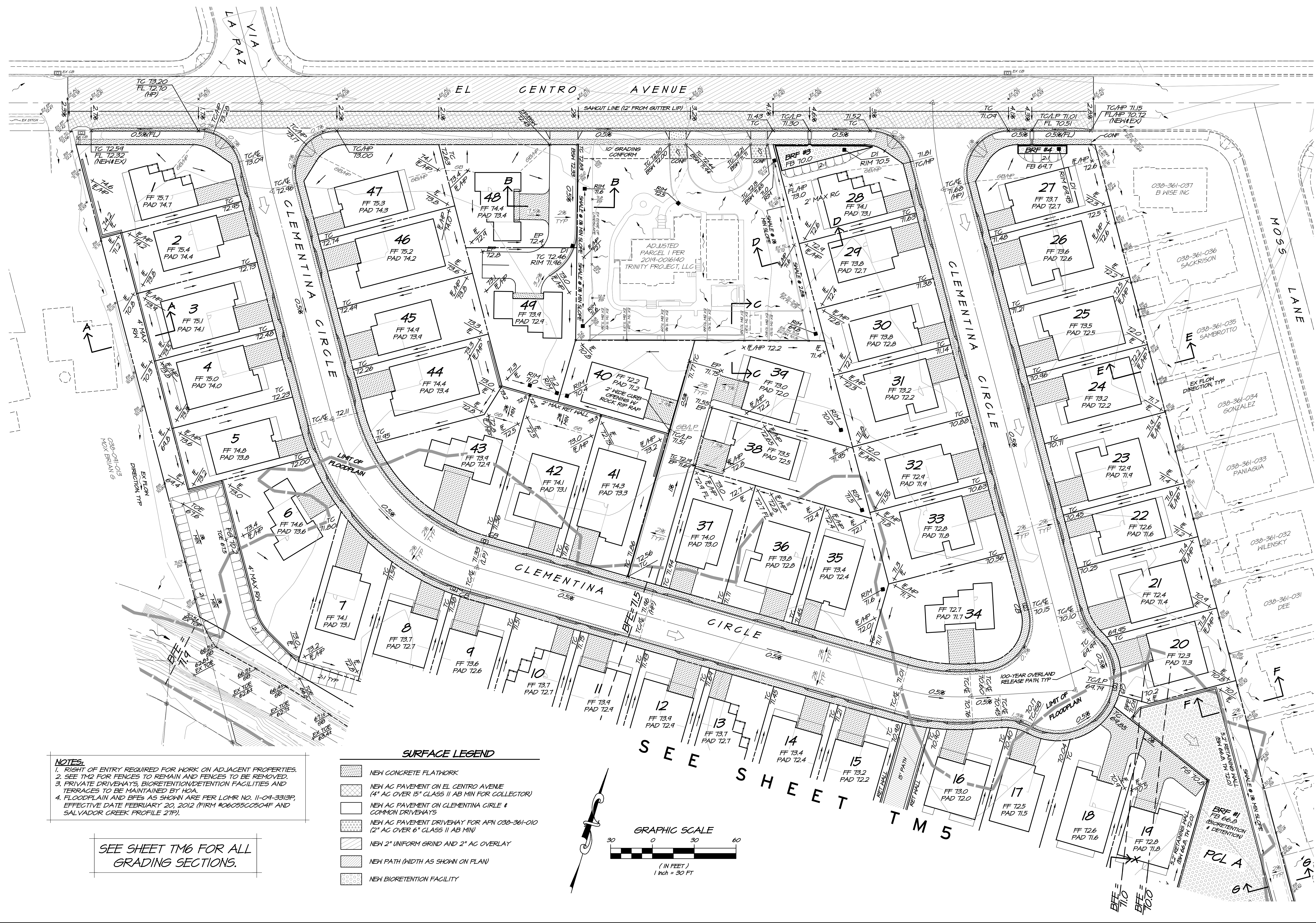
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JOB NO.: 4170710

SHEET NO.: **TM3.1**
4 OF 11 SHEETS

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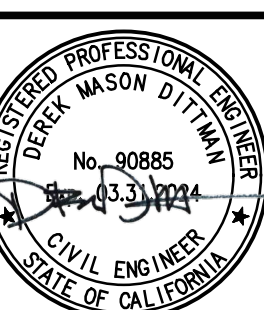
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ZINFANDEL SUBDIVISION GRADING PLAN (North Portion)

CALIFORNIA

NAPA



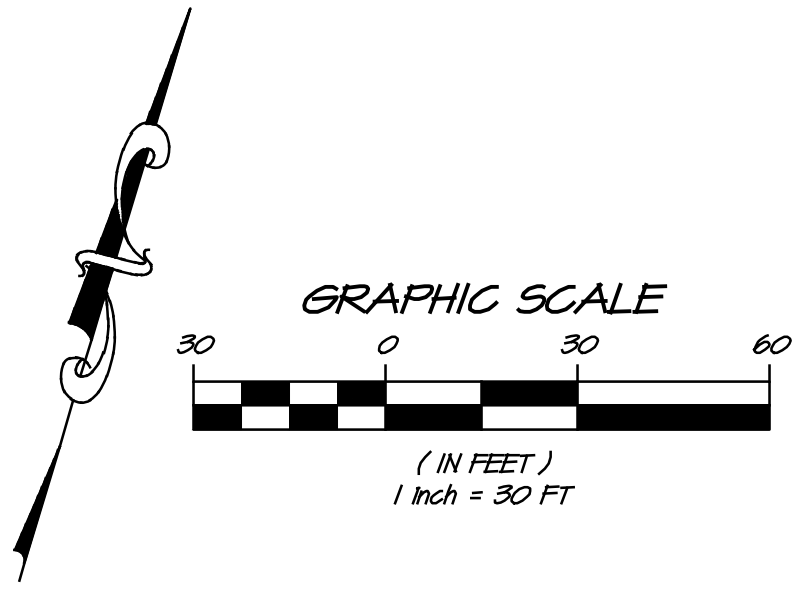
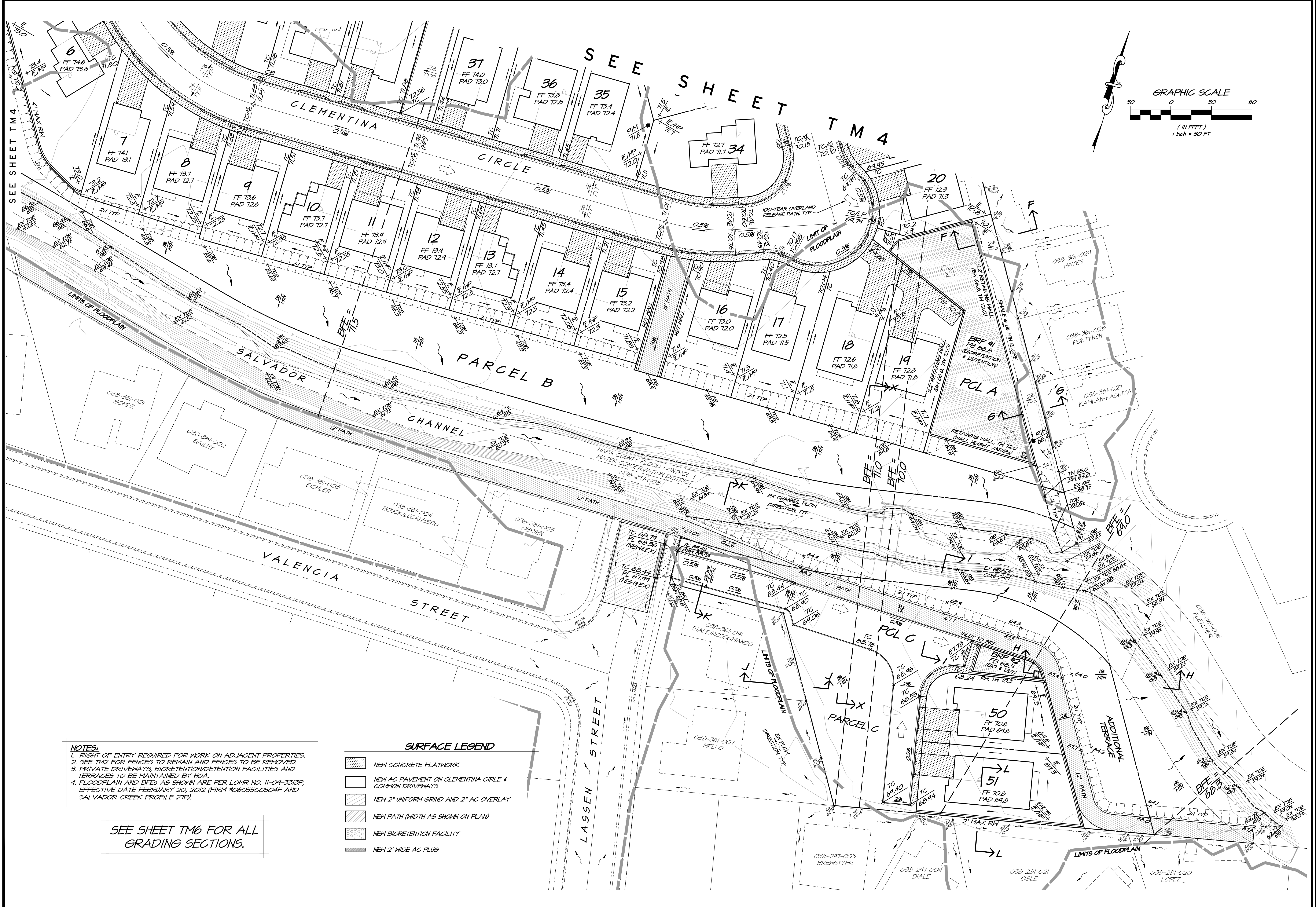
DATE: SEPT 15, 2023
 DRAWN: DEL
 DESIGNED: RAY
 CHECKED: DMD
 JOB NO.: 4170170

SHEET NO.
TM4
 5 OF 11 SHEETS

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NO. DATE BY APPD
 REVISIONS

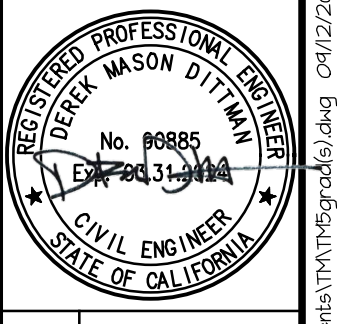


NO.	DATE	REVISIONS	BY	APPD

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**ZINFANDEL SUBDIVISION
GRADING PLAN (South Portion)**
CALIFORNIA



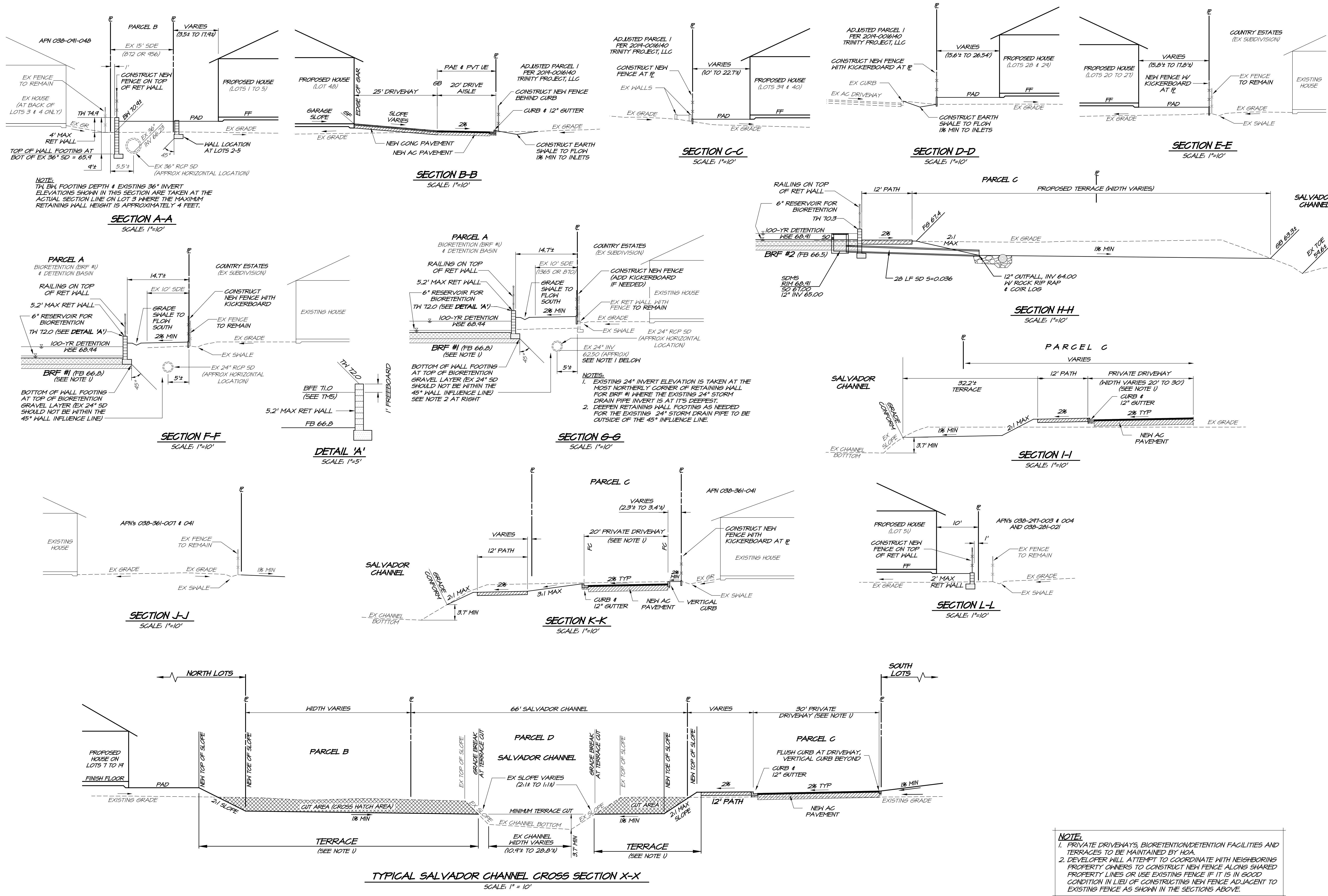
DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710

SHEET NO.
TM5
6 OF 11 SHEETS

- NOTES:**
- RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
 - SEE TM2 FOR REMAINS AND FENCES TO BE REMOVED.
 - PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
 - FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-04-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #06035C0504F AND SALVADOR CREEK PROFILE 21P).

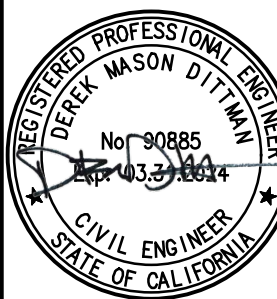
SEE SHEET TM6 FOR ALL
GRADING SECTIONS.

- SURFACE LEGEND**
- NEW CONCRETE FLATWORK
 - NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVEWAYS
 - NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
 - NEW PATH (WIDTH AS SHOWN ON PLAN)
 - NEW BIORETENTION FACILITY
 - NEW 2" WIDE AC PLUG

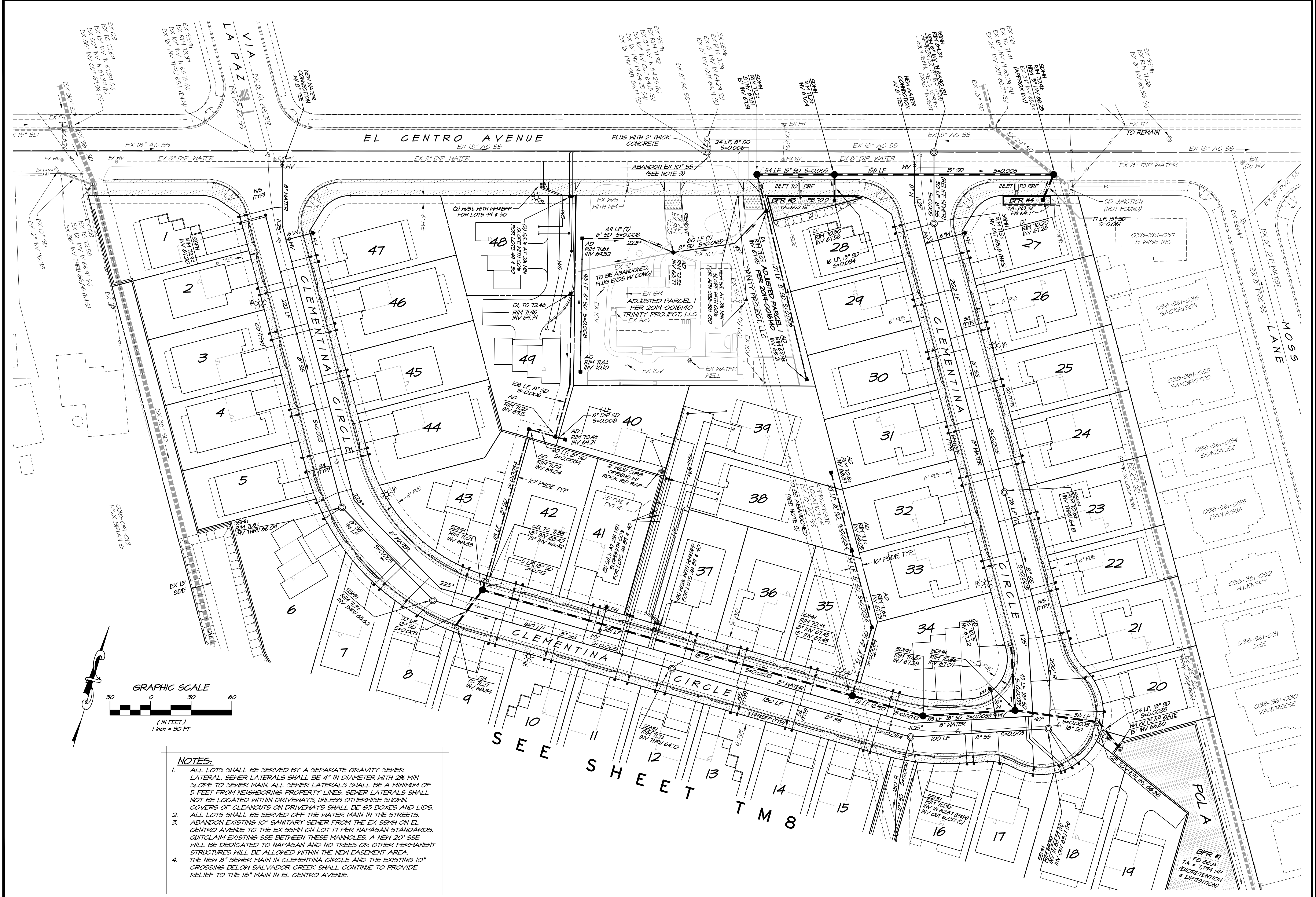


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**ZINFANDEL SUBDIVISION
GRADING SECTIONS**
CALIFORNIA
NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMO
JOB NO.	4170170
SHEET NO.	



- NOTES:**
- ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 65 BOXES AND LIDS.
 - ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX SMH ON EL CENTRO AVENUE TO THE EX SMH ON LOT 17 PER NAPASAN STANDARDS. QUITCLAIM EXISTING SSE BETWEEN THESE MANHOLES. A NEW 20" SSE WILL BE DEDICATED TO NAPASAN AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 - THE NEW 8" SEWER MAIN IN CLEMENTINA CIRCLE AND THE EXISTING 10" CROSSINGS BELOW SALVADOR CREEK SHALL CONTINUE TO PROVIDE RELIEF TO THE 18" MAIN IN EL CENTRO AVENUE.

REVISIONS

NO.	DATE	BY	APPD.

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ZINFANDEL SUBDIVISION
UTILITY PLAN (North Portion)
CALIFORNIA
NAPA

REGISTERED PROFESSIONAL ENGINEER
No. 80885
DATE OF CALIFORNIA EXAMINATION
11/15/2014

DATE
SEPT 15, 2023

DRAWN
DEL

DESIGNED
RAY

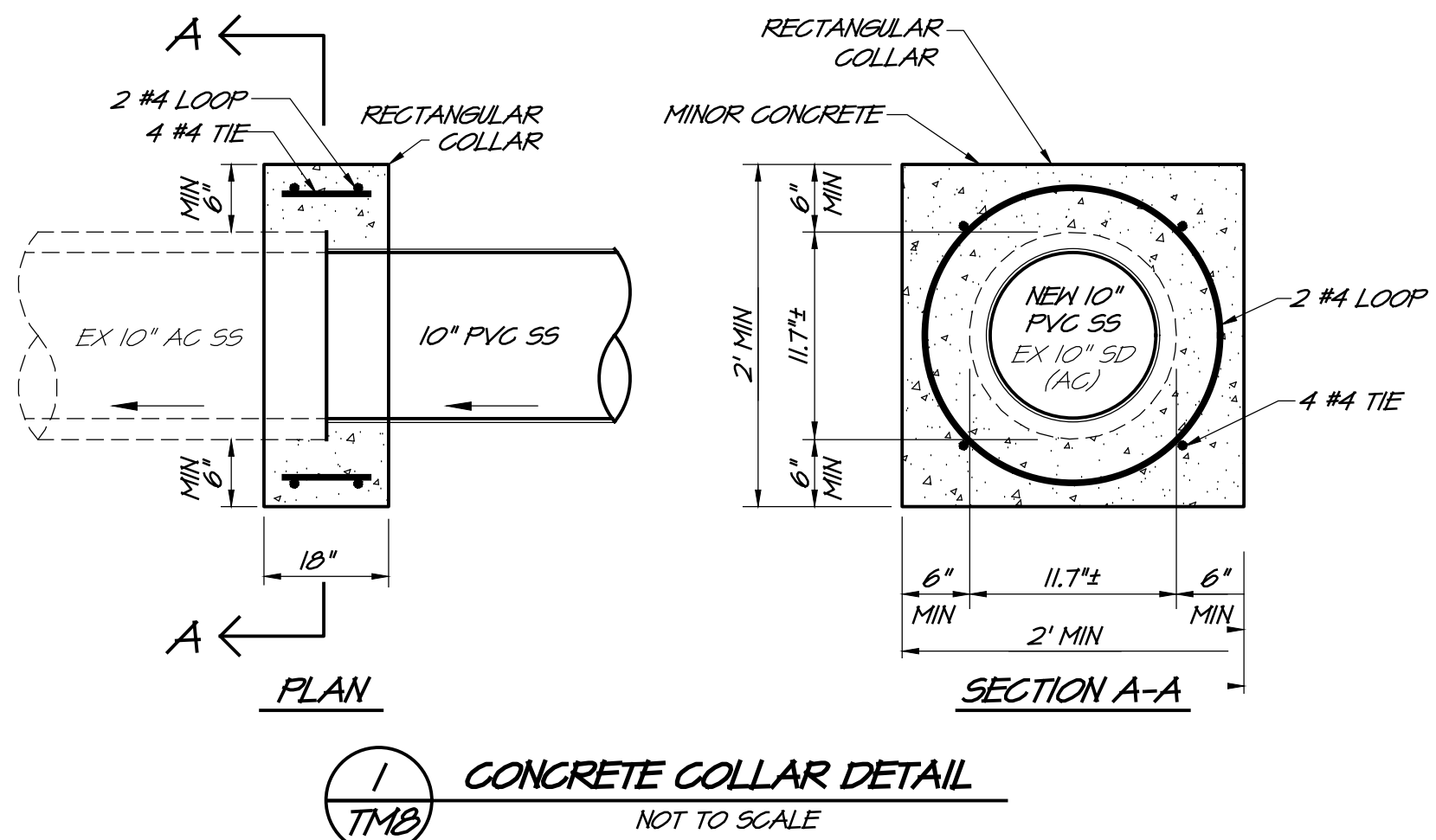
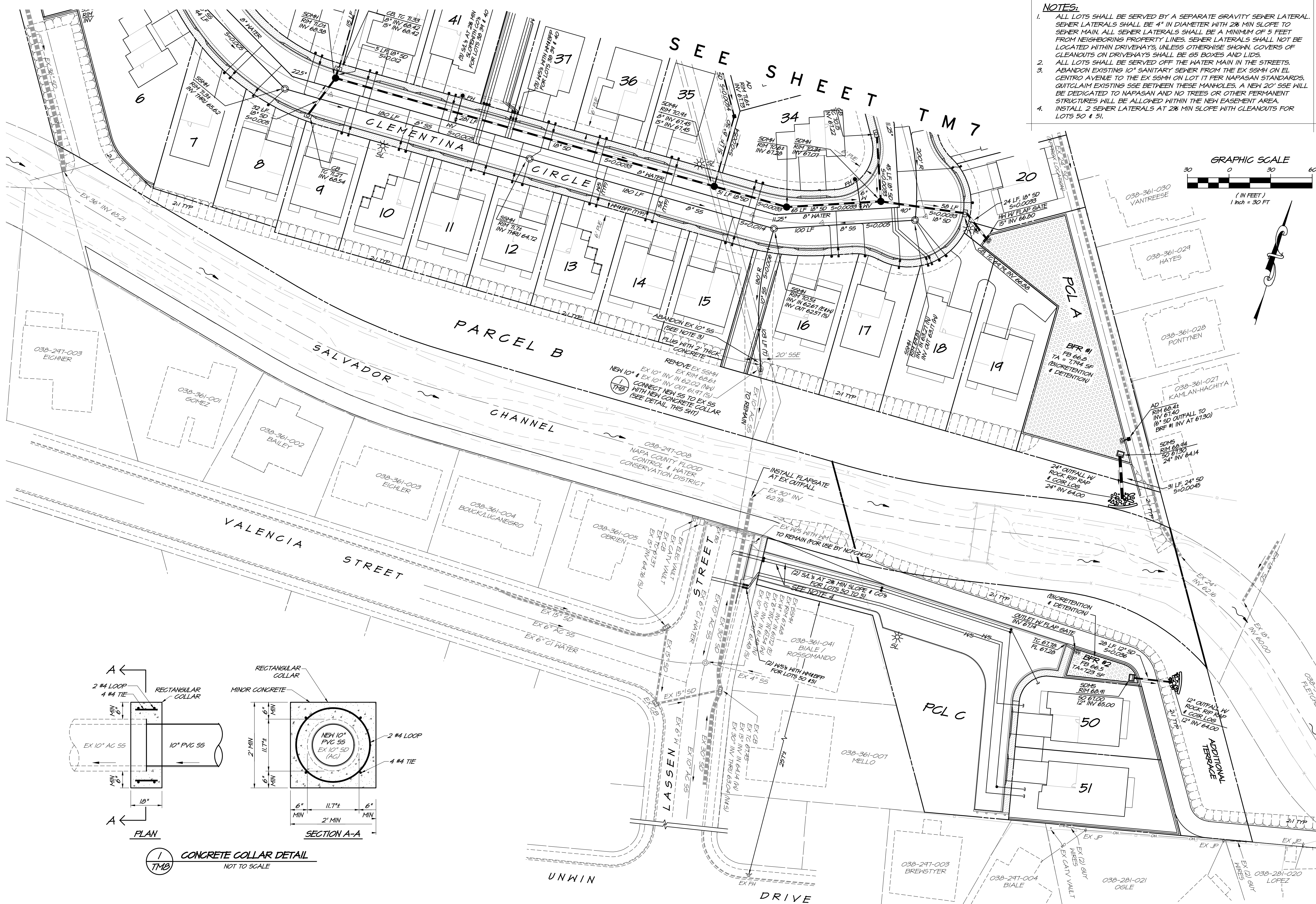
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DMD

JOB NO.
4170710

SHEET NO.
TM7

8 OF 11 SHEETS

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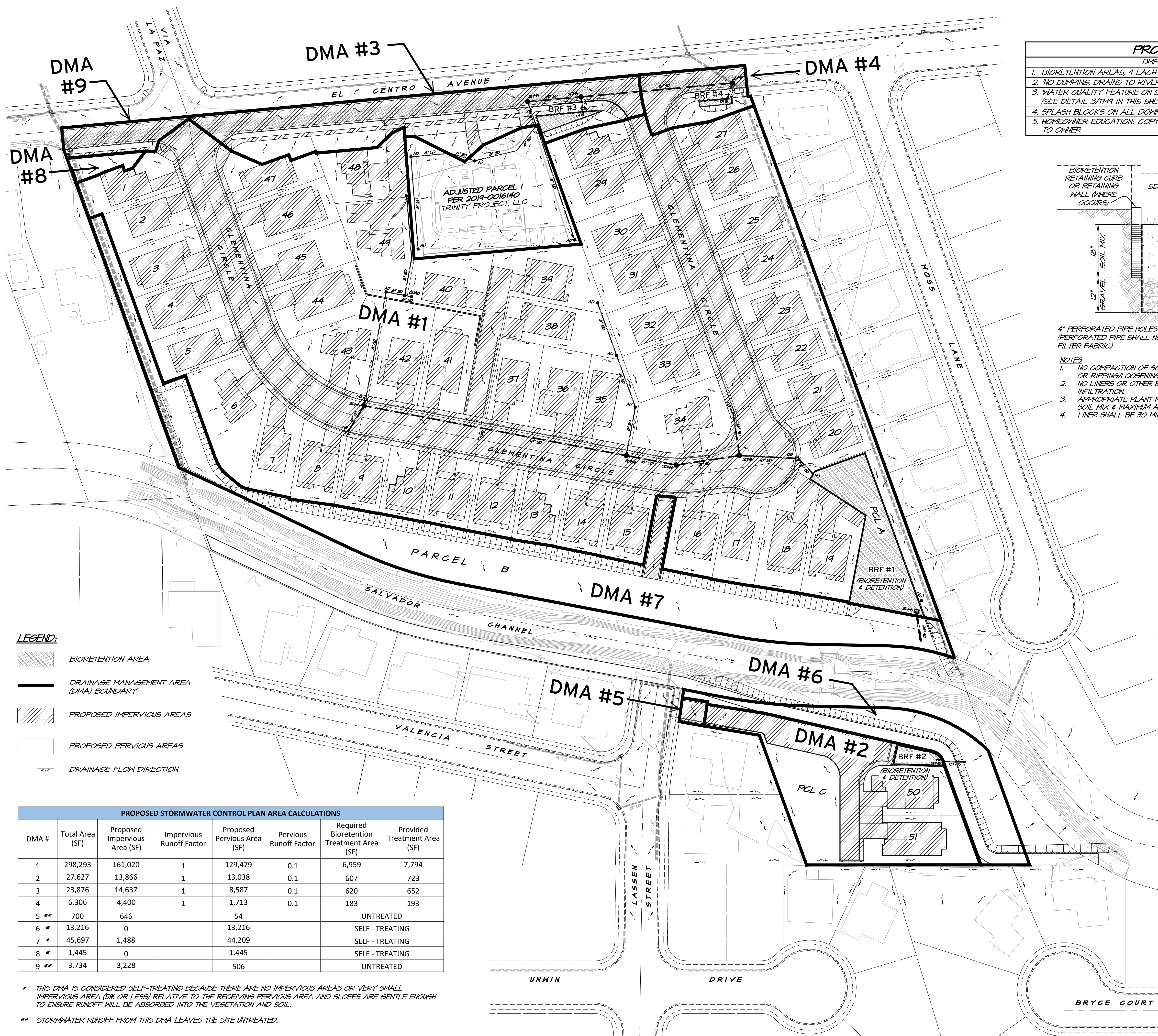
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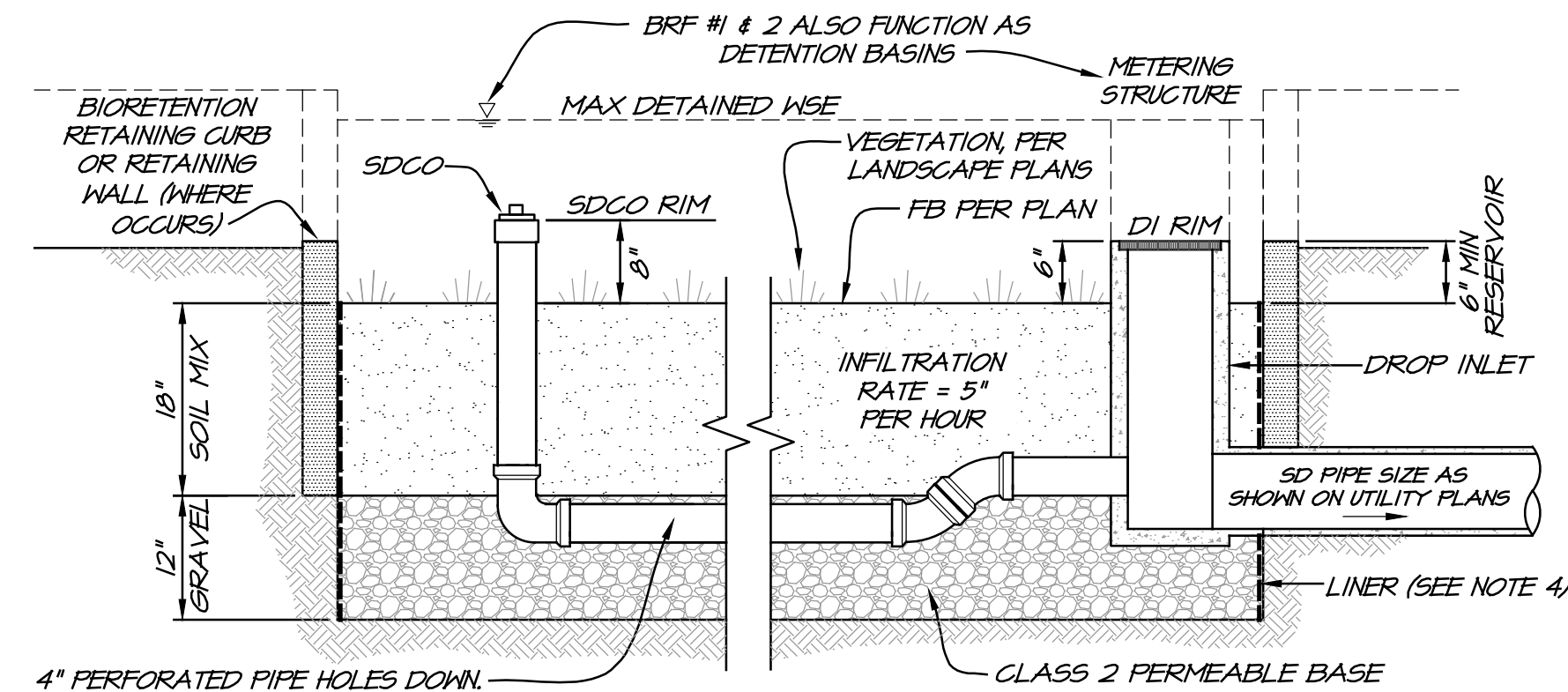
**ZINFANDEL SUBDIVISION
UTILITY PLAN (South Portion)**
CALIFORNIA
NAPA

REGISTERED PROFESSIONAL ENGINEER
No. 90885
DATE OF CALIFORNIA EXAMINATION: 04/22/2023
P. Villalga, COPYRIGHT RSA+

DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	TM8
9 OF 11 SHEETS	

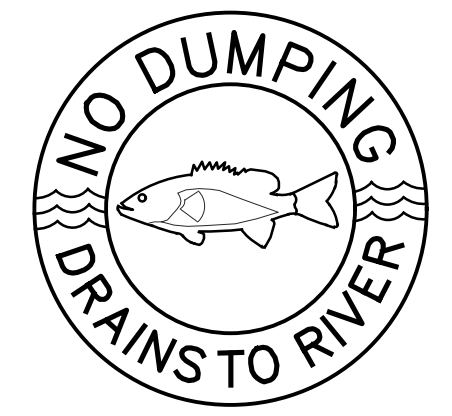
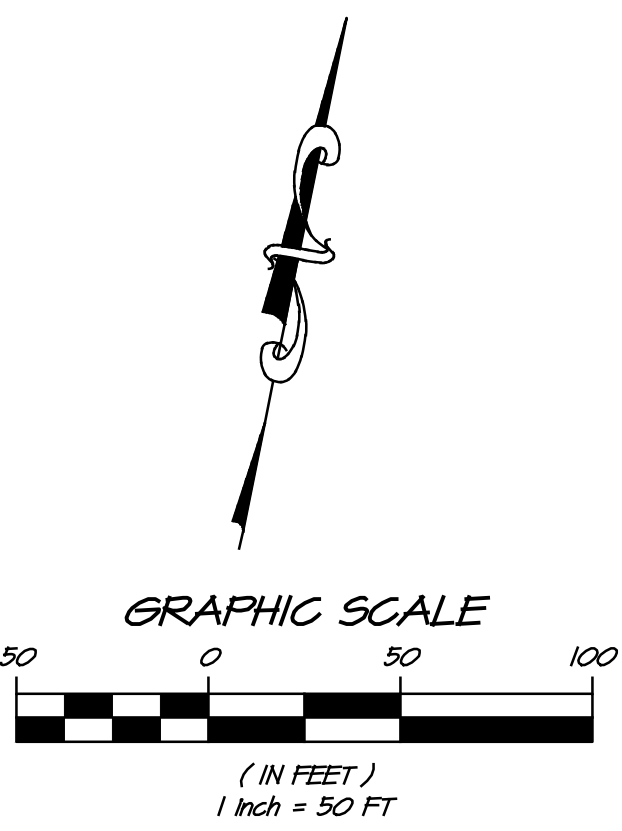


PROPOSED POST CONSTRUCTION BMP's	
BMP (BEST MANAGEMENT PRACTICES)	
1. BIORETENTION AREAS, 4 EACH (SEE DETAIL 1/TM9 IN THIS SHEET)	TREATMENT AREA
2. NO DUMPING, DRAINS TO RIVER' STAMPING ON ALL INLETS (SEE DETAIL 2/TM9 IN THIS SHEET)	ENTIRE PROJECT
3. WATER QUALITY FEATURE ON SITE' STAMPING ON ALL BIORETENTION INLETS (SEE DETAIL 3/TM9 IN THIS SHEET)	ENTIRE PROJECT
4. SPLASH BLOCKS ON ALL DOWNSPOUTS (SEE DETAIL 4/TM9 IN THIS SHEET)	ENTIRE PROJECT
5. HOMEOWNER EDUCATION, COPY OF SCP AND MAINTENANCE AGREEMENT TO BE PROVIDED TO OWNER	ENTIRE PROJECT



- 4\"/>
- NOTES
1. NO COMPACTION OF SOILS BENEATH THE FACILITY, OR RIPPING/LOOSENING OF SOILS IF COMPACTED.
 2. NO LINERS OR OTHER BARRIERS INTERFERING WITH INFILTRATION.
 3. APPROPRIATE PLANT PALETTE FOR THE SPECIFIED SOIL MIX & MAXIMUM AVAILABLE WATER USE.
 4. LINER SHALL BE 30 MIL LINER.
- LONGITUDINAL SECTION
- BIORETENTION PLAN LIST: REFER TO BASHAA PLANT MATRIX IN APPENDIX F (SEE LANDSCAPE PLANS)
- SOIL MIX NOTE: A MIXTURE OF SAND (60%-70%) MEETING THE SPECIFICATIONS OF ASTM C33 AND COMPOST (30%-40%) PER BASHAA PHASE II SOIL MIX ENGINEER TO CERTIFY SOIL MIX PRIOR TO INSTALLATION.
- GRAVEL NOTE: \"CLASS 2 PERMEABLE,\" CALTRANS SPECIFICATION 608-2.02(F3)

1
TM9
BIORETENTION AREA DETAIL
NOT TO SCALE

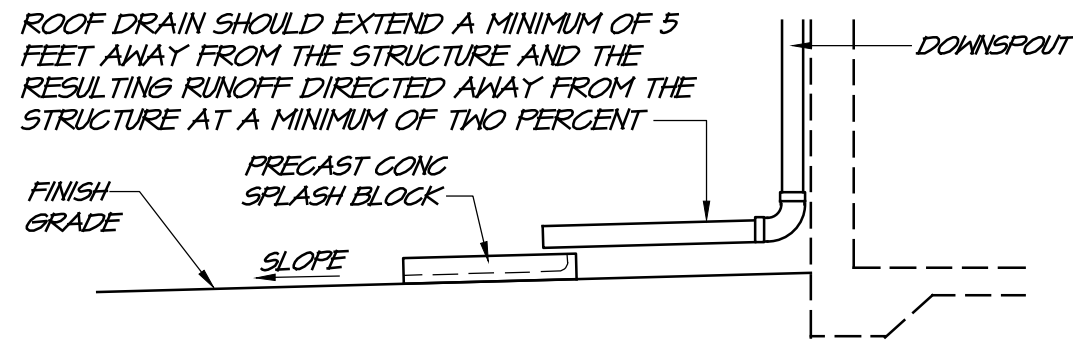


2
TM9
DROP INLET MARKER
NOT TO SCALE

- NOTES
1. EACH BIORETENTION FACILITY WITHIN THE CITY LIMITS SHALL BE MARKED WITH A \"WATER QUALITY FEATURE ON SITE - DO NOT ALTER OR REMOVE\" MARKER.
 2. CONTRACTOR IS TO PURCHASE THESE MARKERS FROM THE PUBLIC WORKS DEPARTMENT LOCATED AT 1600 FIRST STREET.



3
TM9
BIORETENTION FACILITY MARKER
NOT TO SCALE



4
TM9
SPLASH BLOCK DETAIL
NOT TO SCALE

PROPOSED STORMWATER CONTROL PLAN AREA CALCULATIONS						
DMA #	Total Area (SF)	Proposed Impervious Area (SF)	Impervious Runoff Factor	Proposed Pervious Area (SF)	Pervious Runoff Factor	Required Bioretention Treatment Area (SF)
1	298,293	161,020	1	129,479	0.1	6,959
2	27,627	13,866	1	13,038	0.1	607
3	23,876	14,637	1	8,587	0.1	620
4	6,306	4,400	1	1,713	0.1	183
5 **	700	646		54		UNTREATED
6 *	13,216	0		13,216		SELF - TREATING
7 *	45,697	1,488		44,209		SELF - TREATING
8 *	1,445	0		1,445		SELF - TREATING
9 **	3,734	3,228		506		UNTREATED

* THIS DMA IS CONSIDERED SELF-TREATING BECAUSE THERE ARE NO IMPERVIOUS AREAS OR VERY SMALL IMPERVIOUS AREA (3% OR LESS) RELATIVE TO THE RECEIVING PERVIOUS AREA AND SLOPES ARE GENTLE ENOUGH TO ENSURE RUNOFF WILL BE ABSORBED INTO THE VEGETATION AND SOIL.

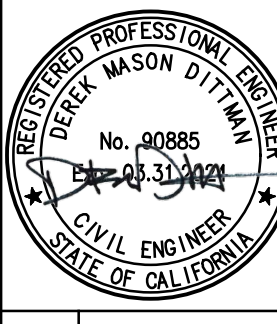
** STORMWATER RUNOFF FROM THIS DMA LEAVES THE SITE UNTREATED.

1515 FOURTH STREET
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+ www.rsacivil.com +

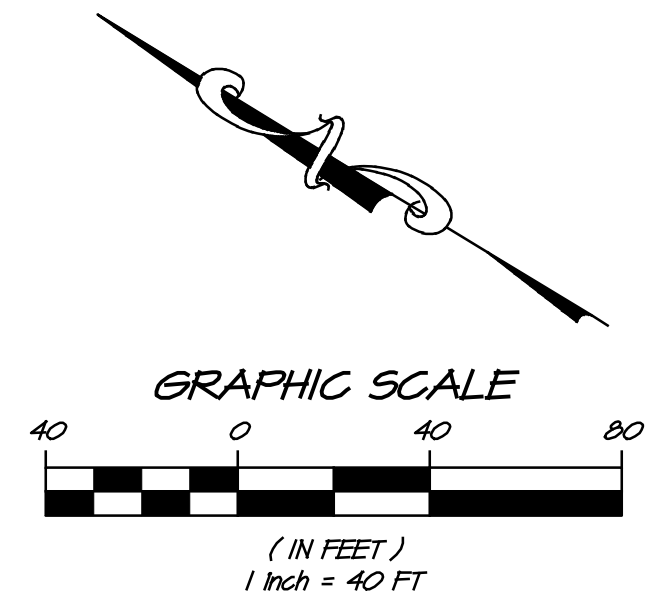
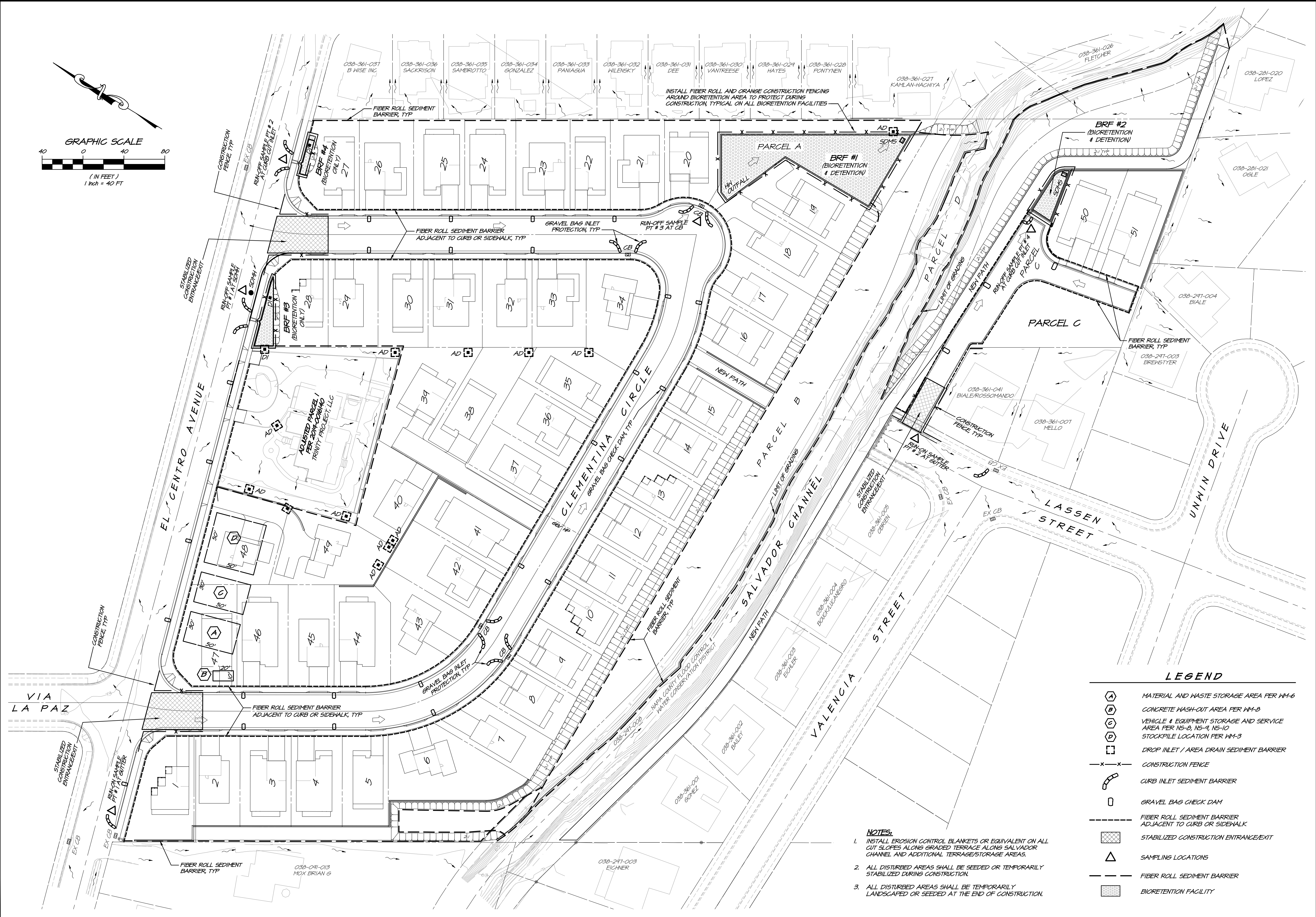
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ZINFANDEL SUBDIVISION
STORMWATER CONTROL PLAN
CALIFORNIA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	TM9
10 OF 11 SHEETS	



LEGEND	
	MATERIAL AND WASTE STORAGE AREA PER WM-6
	CONCRETE WASH-OUT AREA PER WM-8
	VEHICLE & EQUIPMENT STORAGE AND SERVICE AREA PER NS-3, NS-4, NS-10
	STOCKPILE LOCATION PER WM-3
	DROP INLET / AREA DRAIN SEDIMENT BARRIER
	CONSTRUCTION FENCE
	CURB INLET SEDIMENT BARRIER
	GRAVEL BAG CHECK DAM
	FIBER ROLL SEDIMENT BARRIER ADJACENT TO CURB OR SIDEWALK
	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	SAMPLING LOCATIONS
	FIBER ROLL SEDIMENT BARRIER
	BIORETENTION FACILITY

- NOTES:**
1. INSTALL EROSION CONTROL BLANKETS OR EQUIVALENT ON ALL CUT SLOPES ALONG GRADED TERRACE ALONG SALVADOR CHANNEL AND ADDITIONAL TERRACE/STORAGE AREAS.
 2. ALL DISTURBED AREAS SHALL BE SEEDED OR TEMPORARILY STABILIZED DURING CONSTRUCTION.
 3. ALL DISTURBED AREAS SHALL BE TEMPORARILY LANDSCAPED OR SEEDED AT THE END OF CONSTRUCTION.

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ZINFANDEL SUBDIVISION
ESCP SITE PLAN
CALIFORNIA

NAPA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMG
JOB NO.: 4170110
SHEET NO.: **TM10**
11 OF 11 SHEETS

REVISIONS

BY: APPD

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PRELIMINARY - NOT FOR CONSTRUCTION