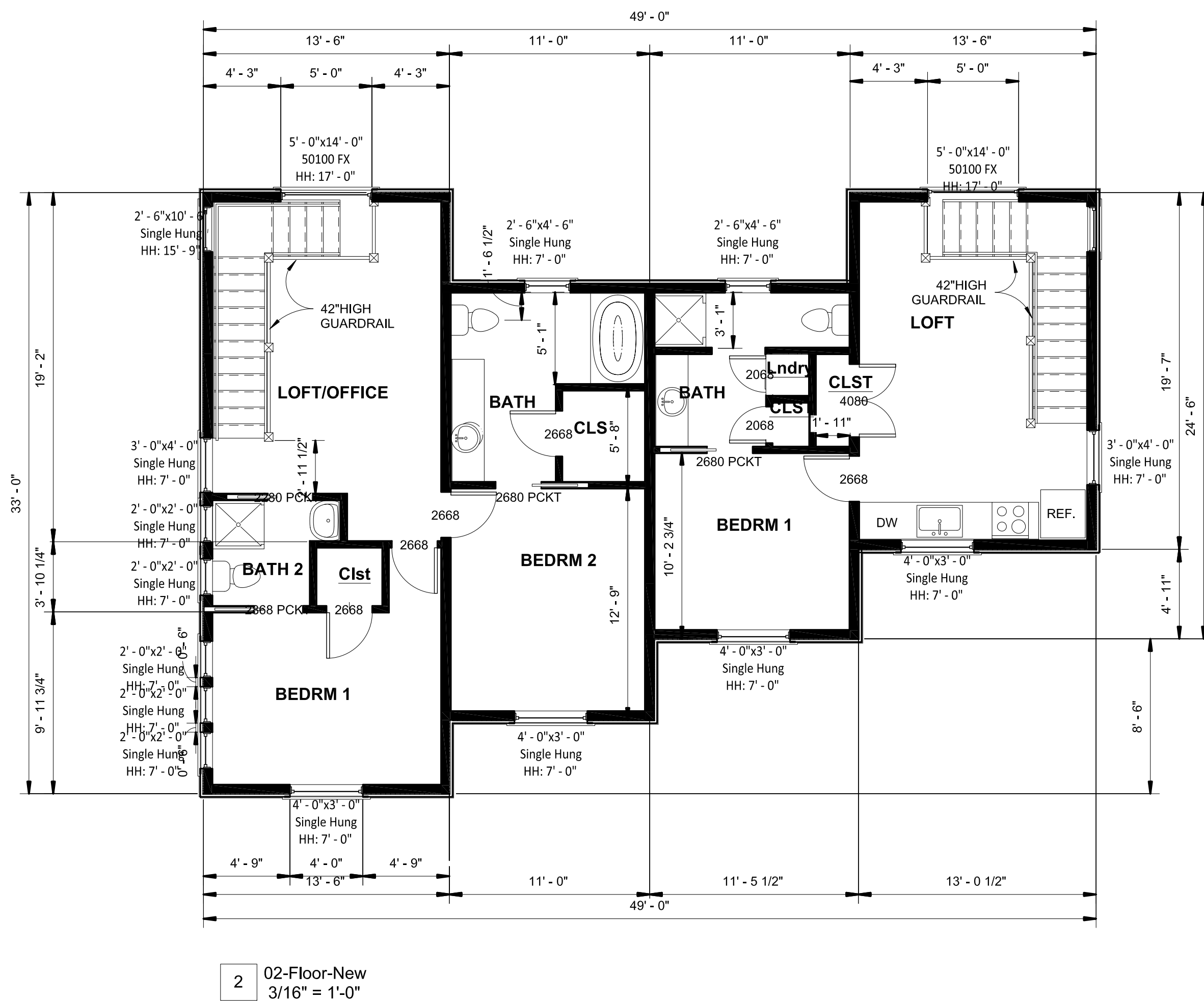




KEYNOTES

PROJECT DATA

<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Floor	1st Flr Level	446 SF
ADU - 1st Floor	1st Flr Level	264 SF
2nd Flr	2nd Flr Level	641 SF
ADU 2nd Flr	2nd Flr Level	418 SF
Total Living Area		1769 SF

GARAGE AREA		
Name	Level	Area
Garage 2	1st Flr Level	219 SF
Garage 1	1st Flr Level	267 SF
Garage Area		486 SF

[illegible]

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

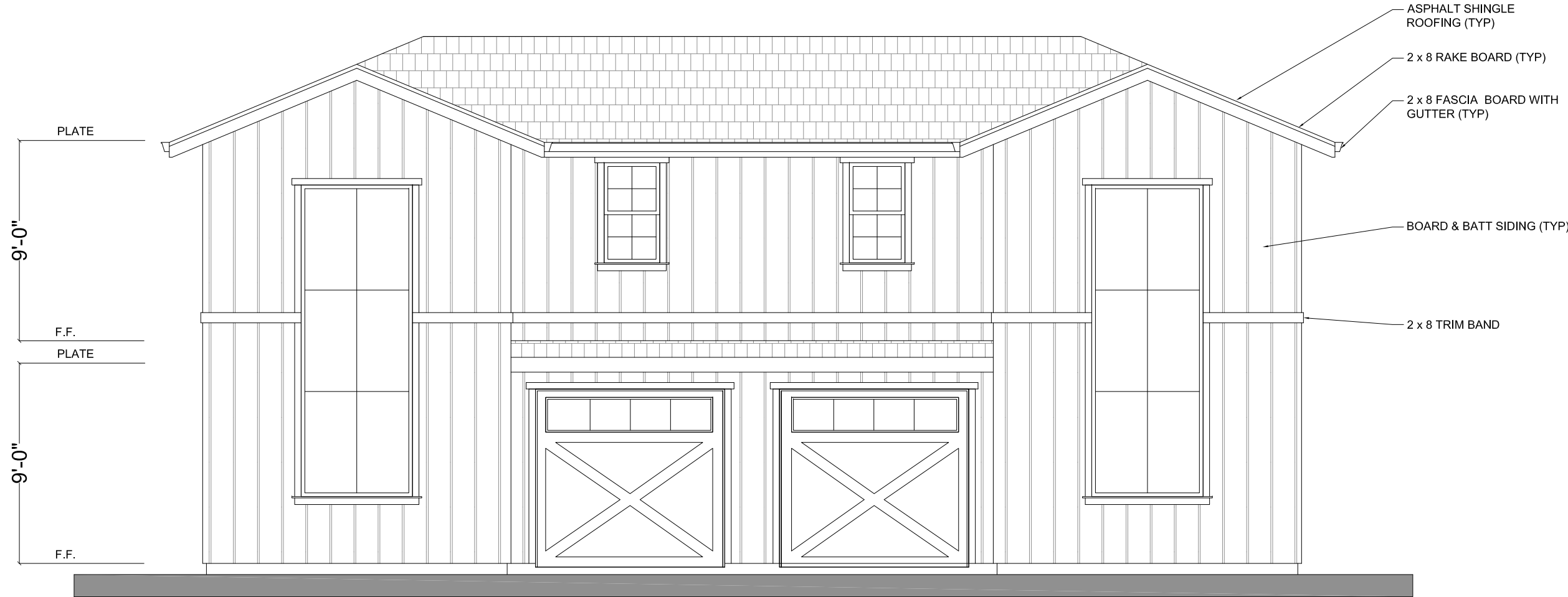
1583 El Centro Ave.
Napa, CA 94558

FLOOR PLANS

CHECKED BY	kgeyer
DRAWN BY	jneal
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

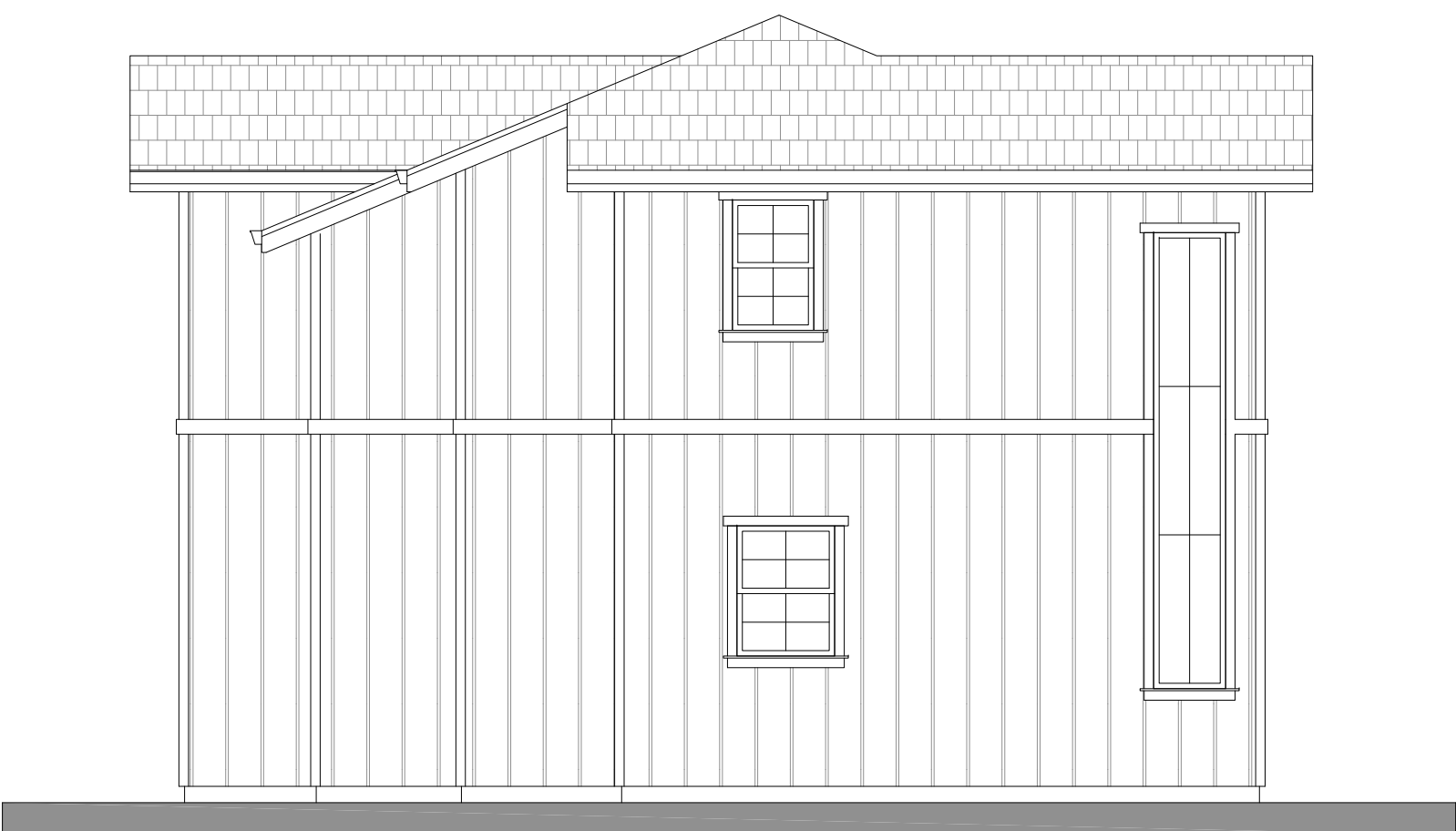
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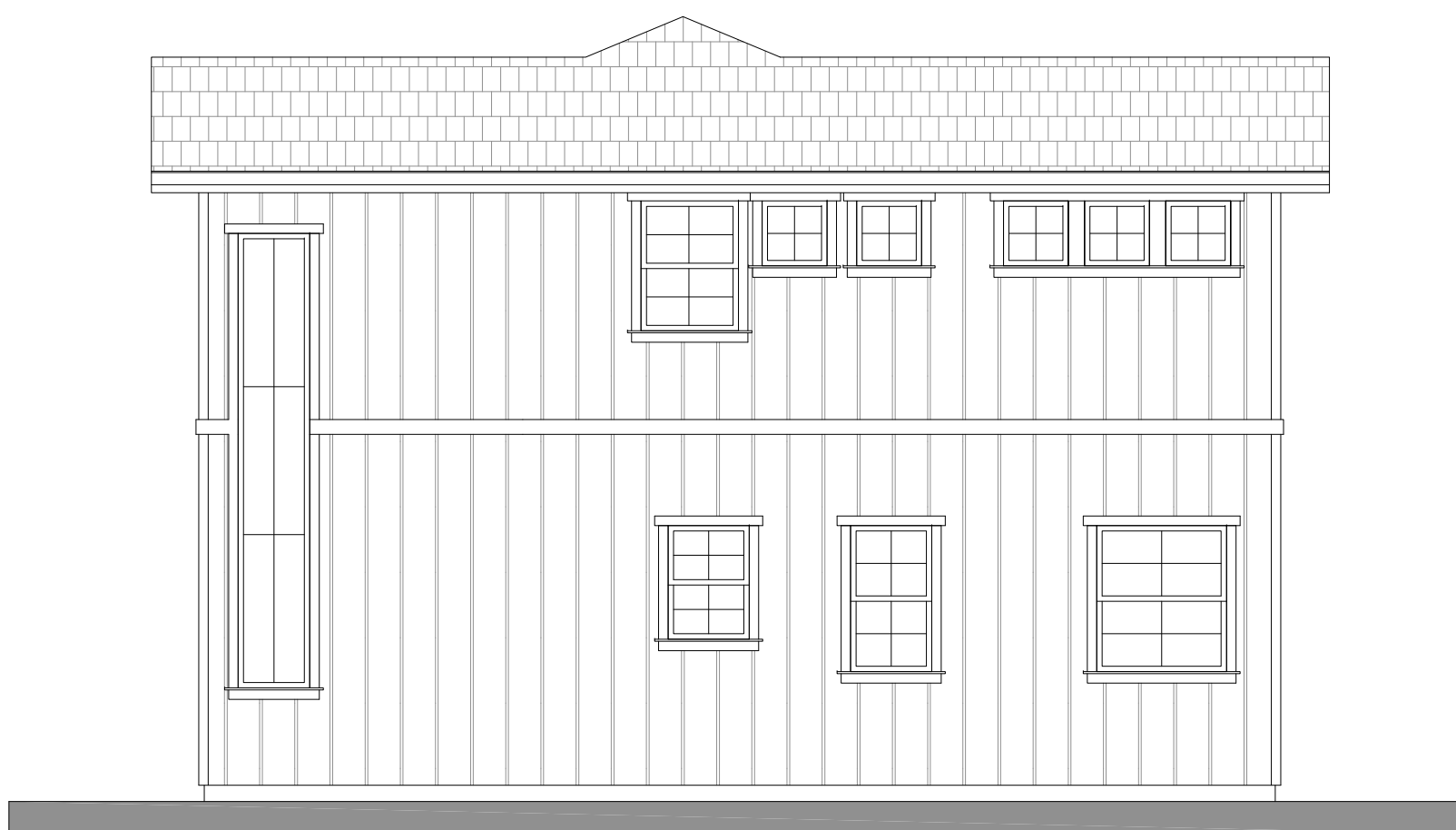
2 FRONT ELEVATION
3/16" = 1'-0"



1 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

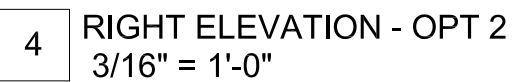
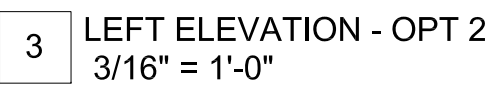
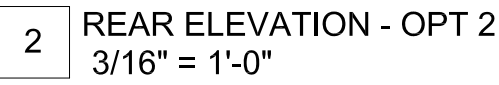
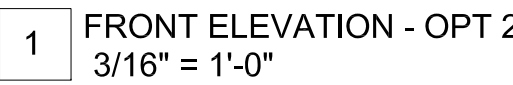
OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

SHEET NO.
A321 of



**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 2

CHECKED BY
Checker

DRAWN BY Author

SCALE $3/16" = 1'-0"$

DATE 12.15.2020

PROJECT NO.

17060
PHASE NO.

SHEET NO

A322

○

ZINFANDEL SUBDIVISION

TRINITY PROJECT, LLC SPRING MOUNTAIN (Model #2)

1583 El Centro Ave.
Napa, CA 94558

ABBREVIATIONS

ABV.	ABOVE
AFF.	ABOVE FINISHED FLOOR
APPROX.A.	APPROXIMATE
BLDG.	BUILDING
B.	BEAM
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC..A.A.	CONCRETE
CONT.A.	CONTINUOUS
CTR.	CENTER
DET.	DETAIL
DH.	DOUBLE HUNG WINDOW
DN.	DOWN
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
EQ.	EQUAL
EXT.	EXTERIOR
F.A.	FINISH FLOOR
FIN.	FINISH
FOF.	FACE OF FINISHED MATERIAL
FOS.	FACE OF STUD
FX.	FIXED WINDOW
GA.	GAUGE
GC.	GENERAL CONTRACTOR
GYP.BD.A.	GYPSUM BOARD
HDR.	HEADER
HDWR.	HARDWARE
HT.	HEIGHT
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
NIC.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OVERHANG
REQD.	REQUIRED
SIM.	SIMILAR
S.	SLIDER WINDOW
STD.	STANDARD
S.O.G.	SLAB ON GRADE
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.SF.	TOP OF SUB-FLOOR
T.O.P.	TOP OF PLATE
T.O.WDW.	TOP OF WINDOW
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
WDW.	WINDOW



1 OPTION 1



2 OPTION 2

DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLAN
A321	ELEVATIONS - Opt 1
A322	ELEVATIONS - Opt 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

DESIGNER

KIRK GEYER
2276 LOMA HEIGHTS RD.
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phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
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NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

LANDSCAPE ARCHIECT

GSM landscape architects, inc.
1700 Socol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1004 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-B
SPRINKLERED:	YES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1004 SF
Total Living Area		1004 SF

GARAGE / COVERED AREA

Name	Level	Area
Garage	1st Flr Level	219 SF
Deck 3	1st Flr Level	53 SF
Deck 2	1st Flr Level	64 SF
Deck 1	1st Flr Level	46 SF
Rear Patio	1st Flr Level	244 SF
Garage / Covered Area		626 SF

CODE INFORMATION

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (C.B.C.)
2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)

MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE

ELECTRICAL CODE: 2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE

PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE

FIRE CODE: 2016 CALIFORNIA FIRE CODE

ENERGY CODE: 2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

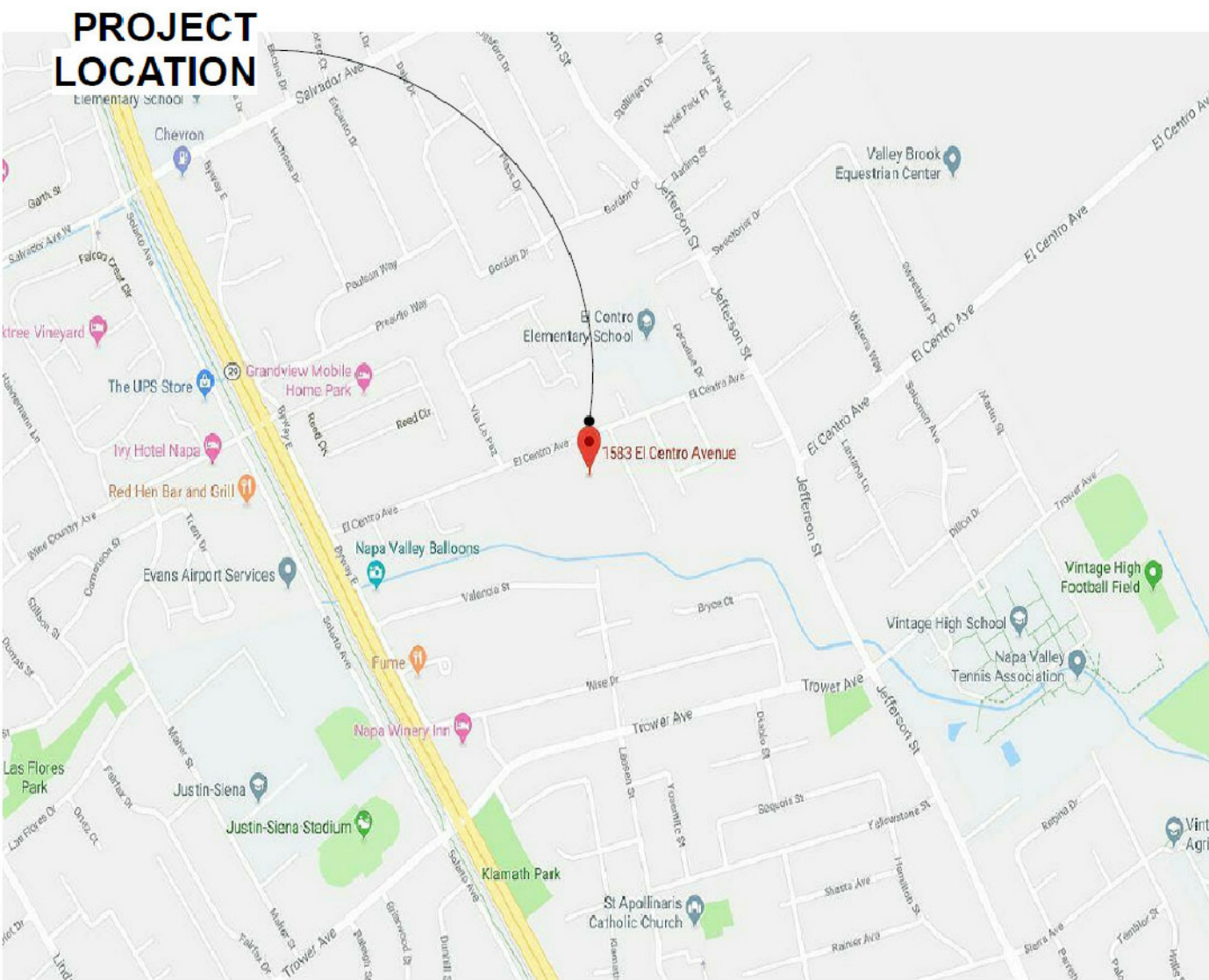
DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

- TRUSS CALCULATIONS AND SHOP DRAWINGS.
- FIRE SPRINKLER SYSTEM.

ALL PORTION(S)ITEM(S) BEING DEFERRED SHALL:

- BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK,
- NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY



VICINITY MAP



LEGEND

BUILDING SECTION (PLAN)		BUILDING SECTION NUMBER	ROOM NAME WITH FLOOR FINISH		ROOM NAME
BUILDING SECTION (ELEVATION)		SHEET NUMBER	FLOOR FINISH		FLOOR FINISH
ELEVATIONS			WINDOW TAG		
WALL SECTION			DOOR TAG		3068 = 36" WIDE BY 6'-8" TALL
DETAIL CALLOUT		DETAIL NUMBER	REVISION TAG		
DETAIL CUT (PLAN/SECTION)		SHEET NUMBER	LEVEL TAGS		NAME ELEVATION
RELATED DETAIL CUT BELOW OR ABOVE			DRAWING TITLE		1 DRAWING NAME SCALE
			NORTH ARROWS		North WORKING NORTH

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

COVER SHEET

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

CHECKED BY	K Geyer
DRAWN BY	J Neal
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	



<u>Name</u>	<u>Level</u>	<u>Area</u>
Living Area	1st Flr Level	1004 SF
Total Living Area		1004 SF

GARAGE / COVERED AREA

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	219 SF
Deck 3	1st Flr Level	53 SF
Deck 2	1st Flr Level	64 SF
Deck 1	1st Flr Level	46 SF
Rear Patio	1st Flr Level	244 SF
Garage / Covered Area		626 SF

1 FLOOR PLAN
1/4" = 1'-0"

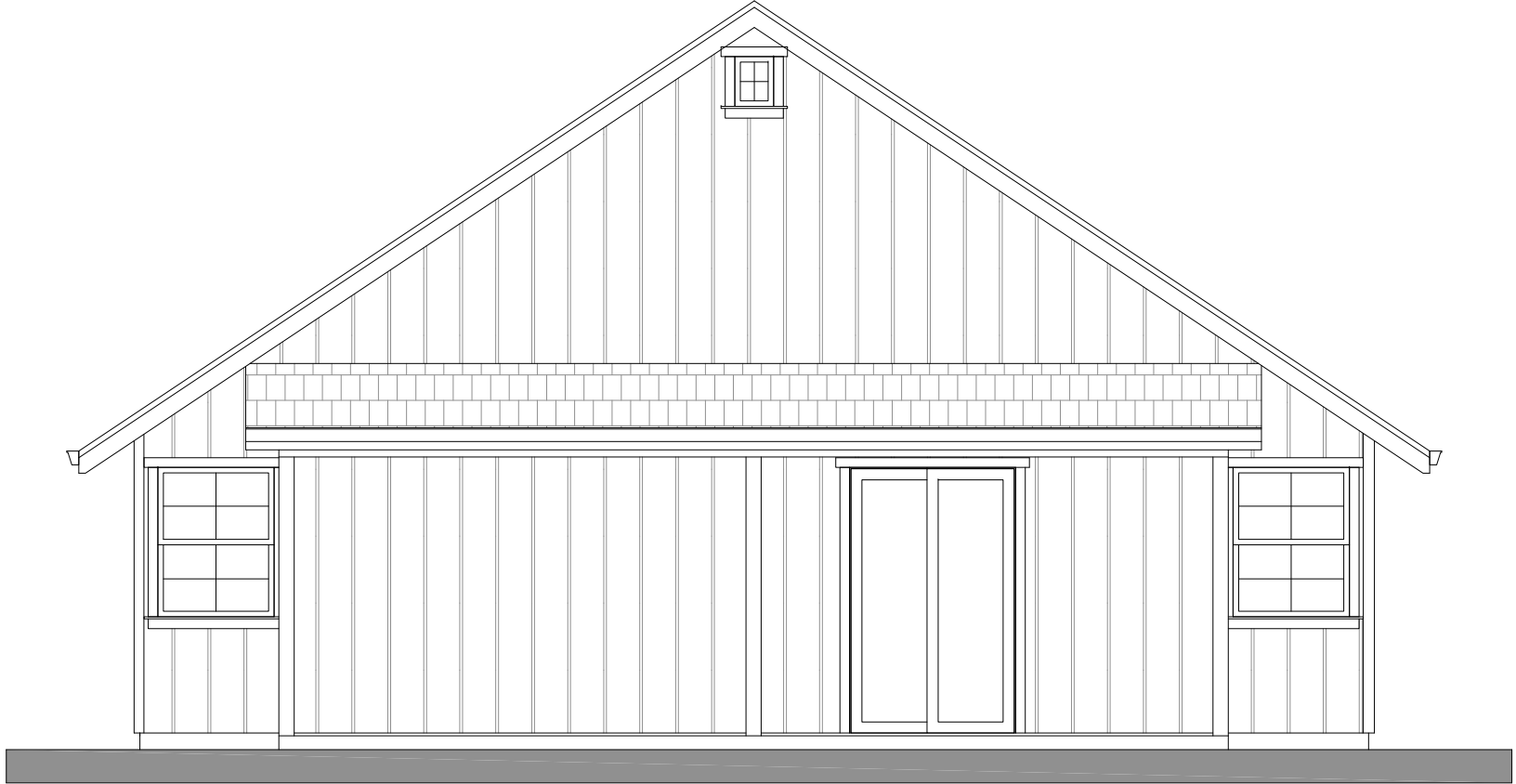
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE FIRM AND ARE CREATED, EVOLVED AND DELIVERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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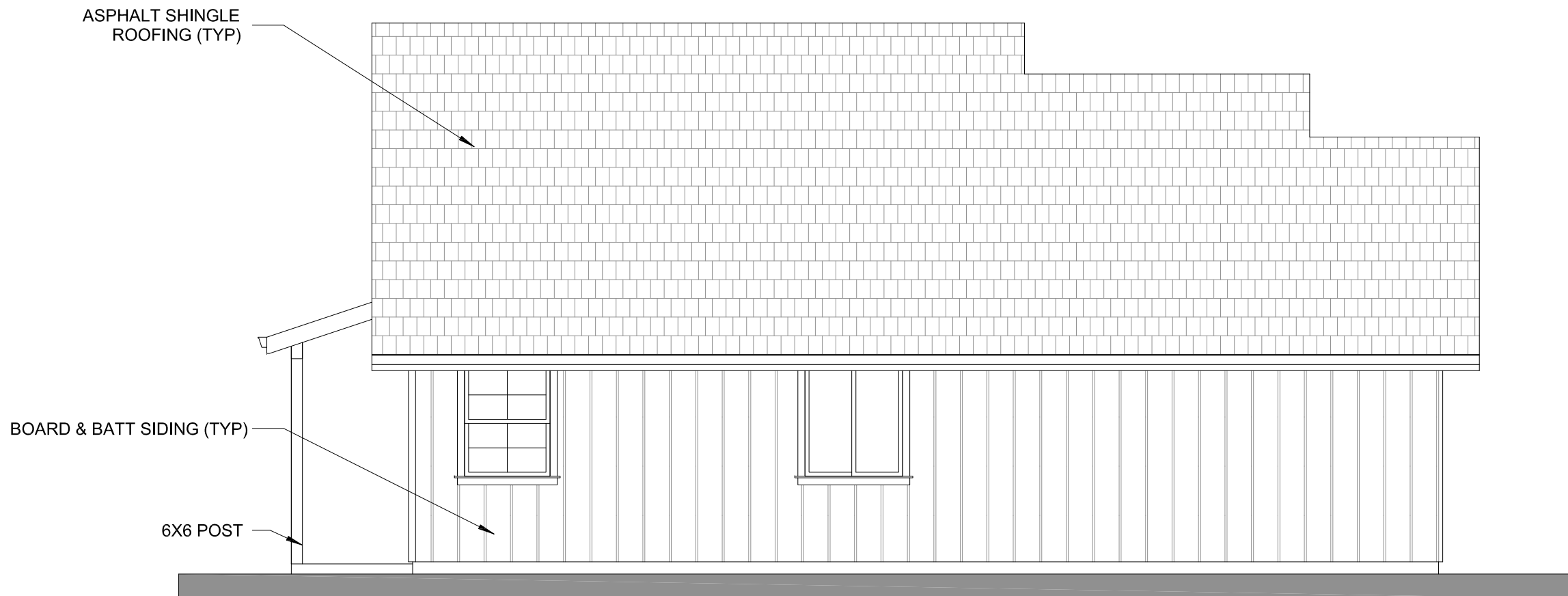
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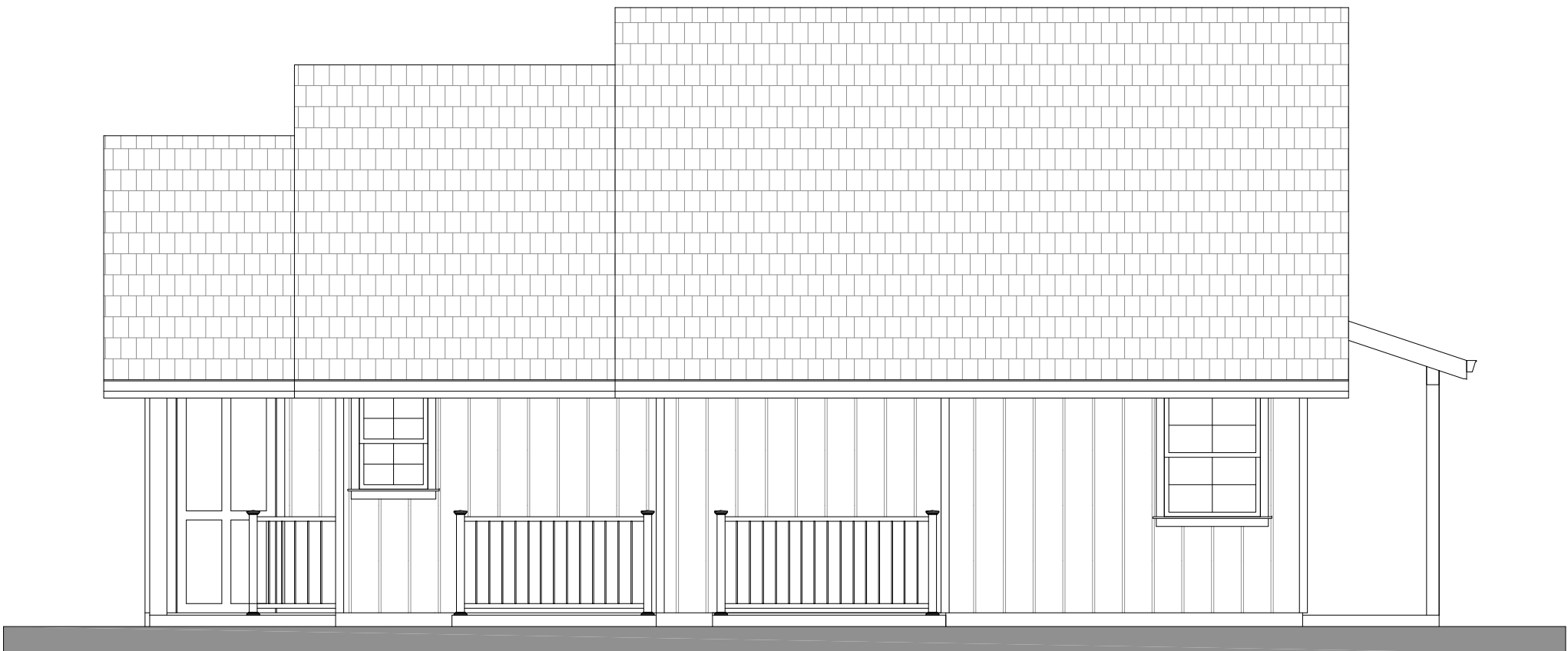
1 1-FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

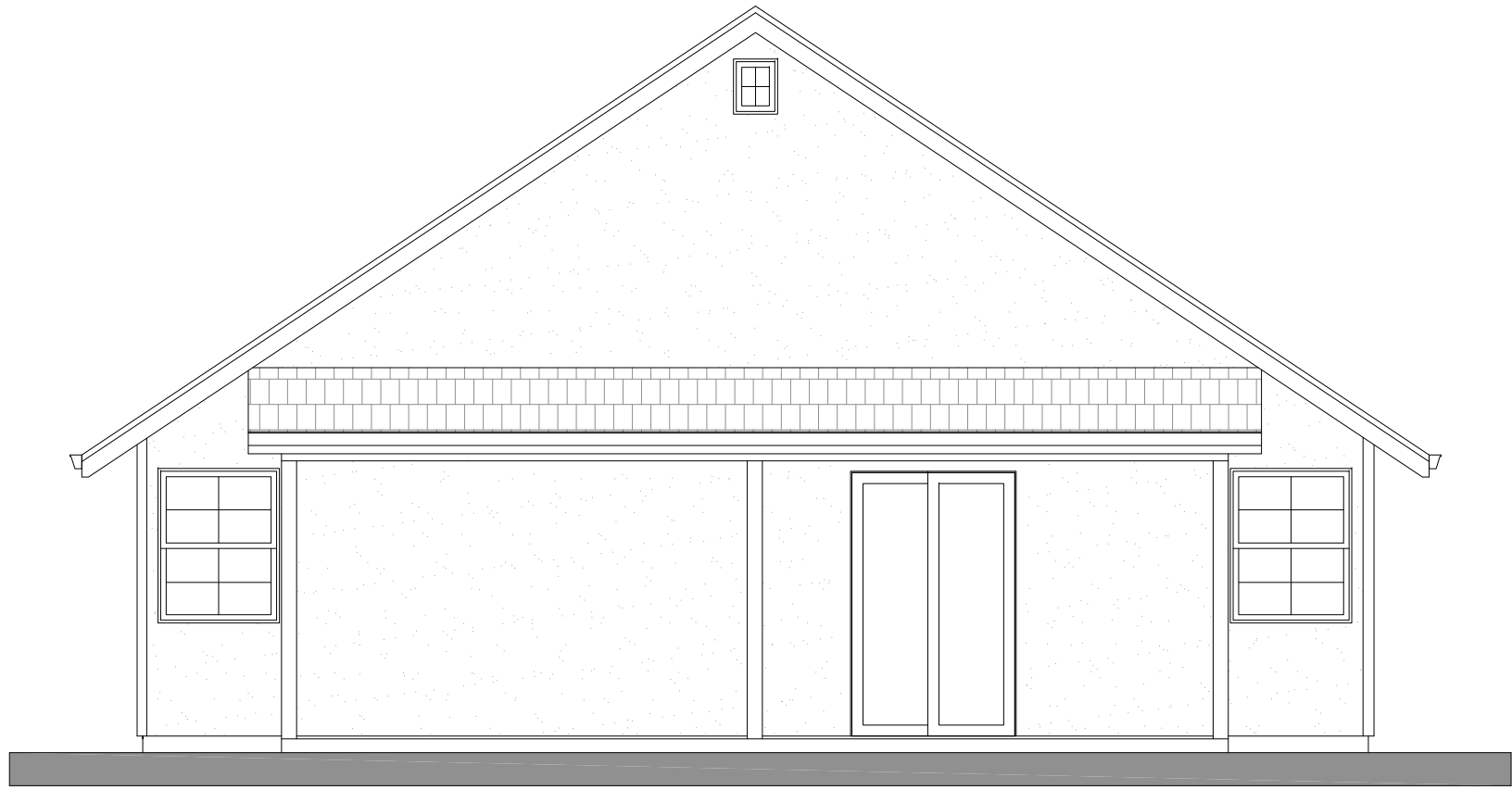
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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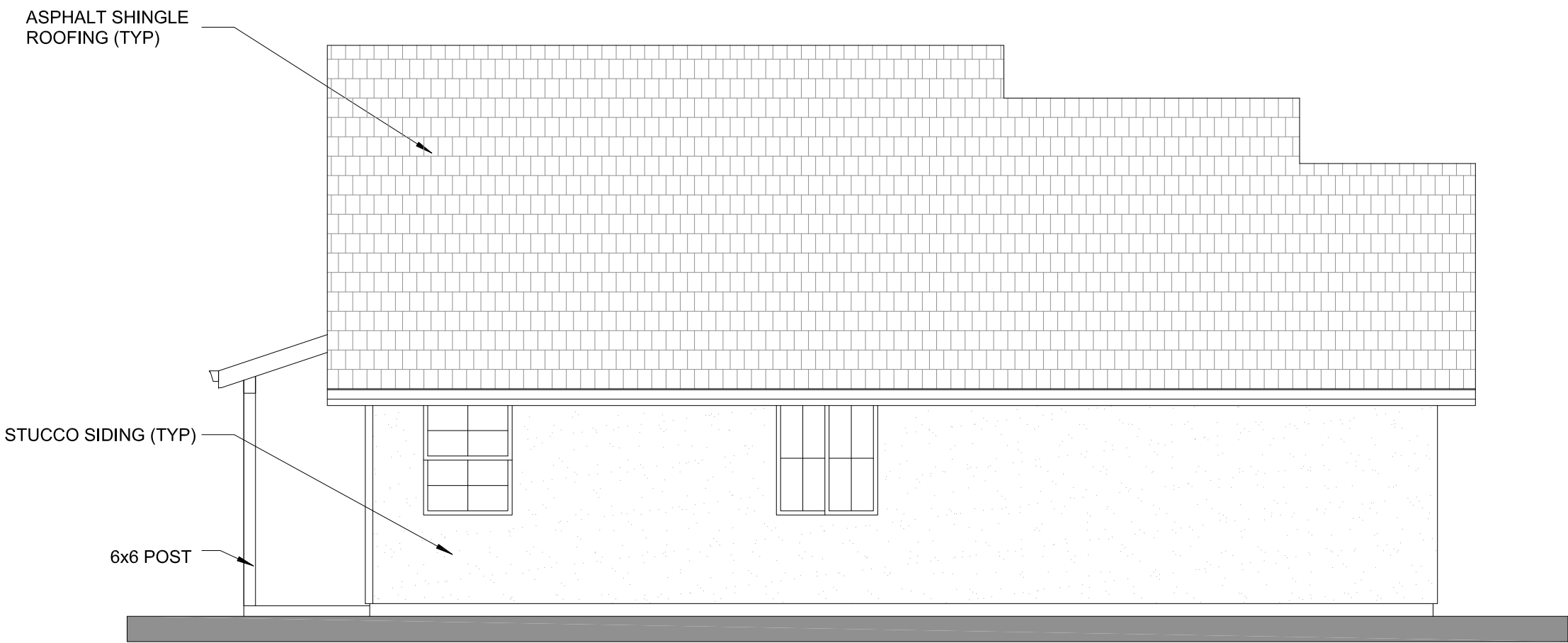
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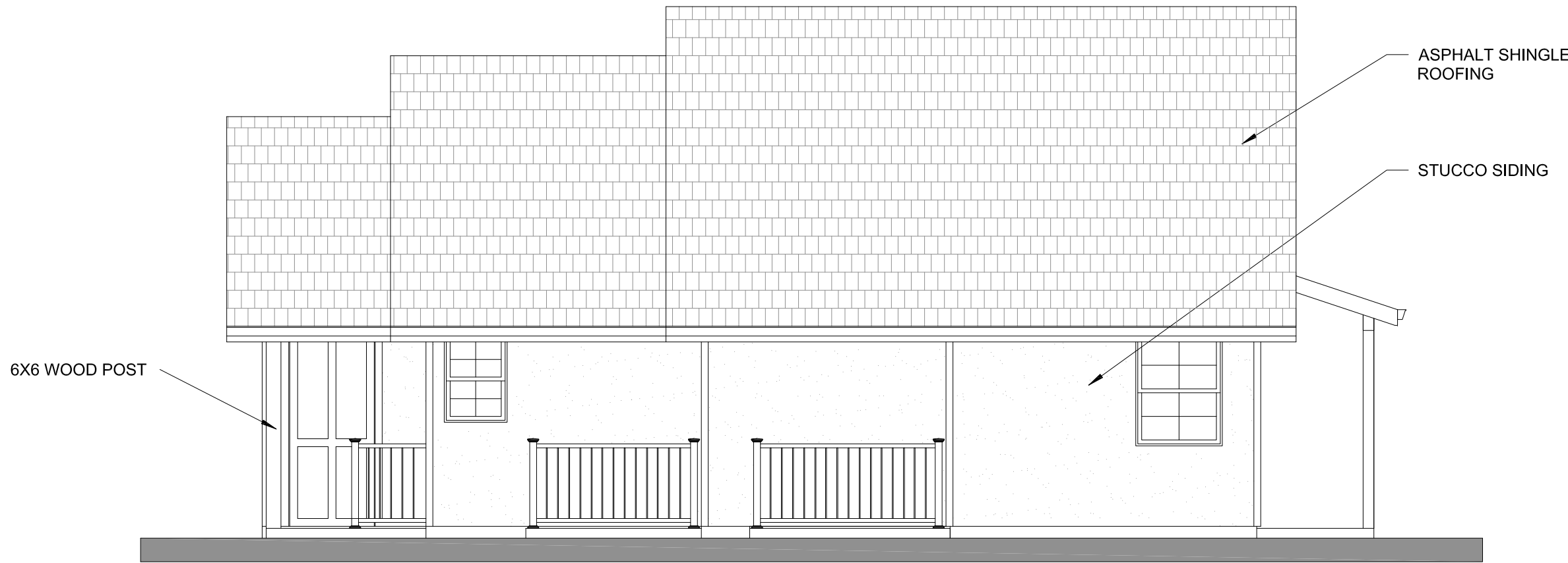
1 1-FRONT ELEVATION-Opt 2
3/16" = 1'-0"



2 REAR ELEVATION-Opt 2
3/16" = 1'-0"



3 LEFT ELEVATION-Opt 2
3/16" = 1'-0"



4 RIGHT ELEVATION-Opt 2
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A322

of

ZINFANDEL SUBDIVISION

TRINITY PROJECT, LLC MOUNT VEEDER (Model #3)

1583 El Centro Ave.
Napa, CA 94558

ABBREVIATIONS

ABV.	ABOVE
AFF	ABOVE FINISHED FLOOR
APPROX.A.	APPROXIMATE
BLDG.	BUILDING
B	BEAM
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC..A.A.	CONCRETE
CONT.A.	CONTINUOUS
CTR.	CENTER
DET.	DETAIL
DH	DOUBLE HUNG WINDOW
DN.	DOWN
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
EQ.	EQUAL
EXT.	EXTERIOR
F.A.	FINISH FLOOR
FIN.	FINISH
FOF	FACE OF FINISHED MATERIAL
FOS	FACE OF STUD
FX	FIXED WINDOW
GA.	GAUGE
GC	GENERAL CONTRACTOR
GYP.BD.A.	GYPSUM BOARD
HDR.	HEADER
HDWR.	HARDWARE
HT.	HEIGHT
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
NIC	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OVERHANG
REQD.	REQUIRED
SIM.	SIMILAR
S	SLIDER WINDOW
STD.	STANDARD
S.O.G.	SLAB ON GRADE
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.SF.	TOP OF SUB-FLOOR
T.O.P.	TOP OF PLATE
T.O.WDW	TOP OF WINDOW
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
WDW	WINDOW



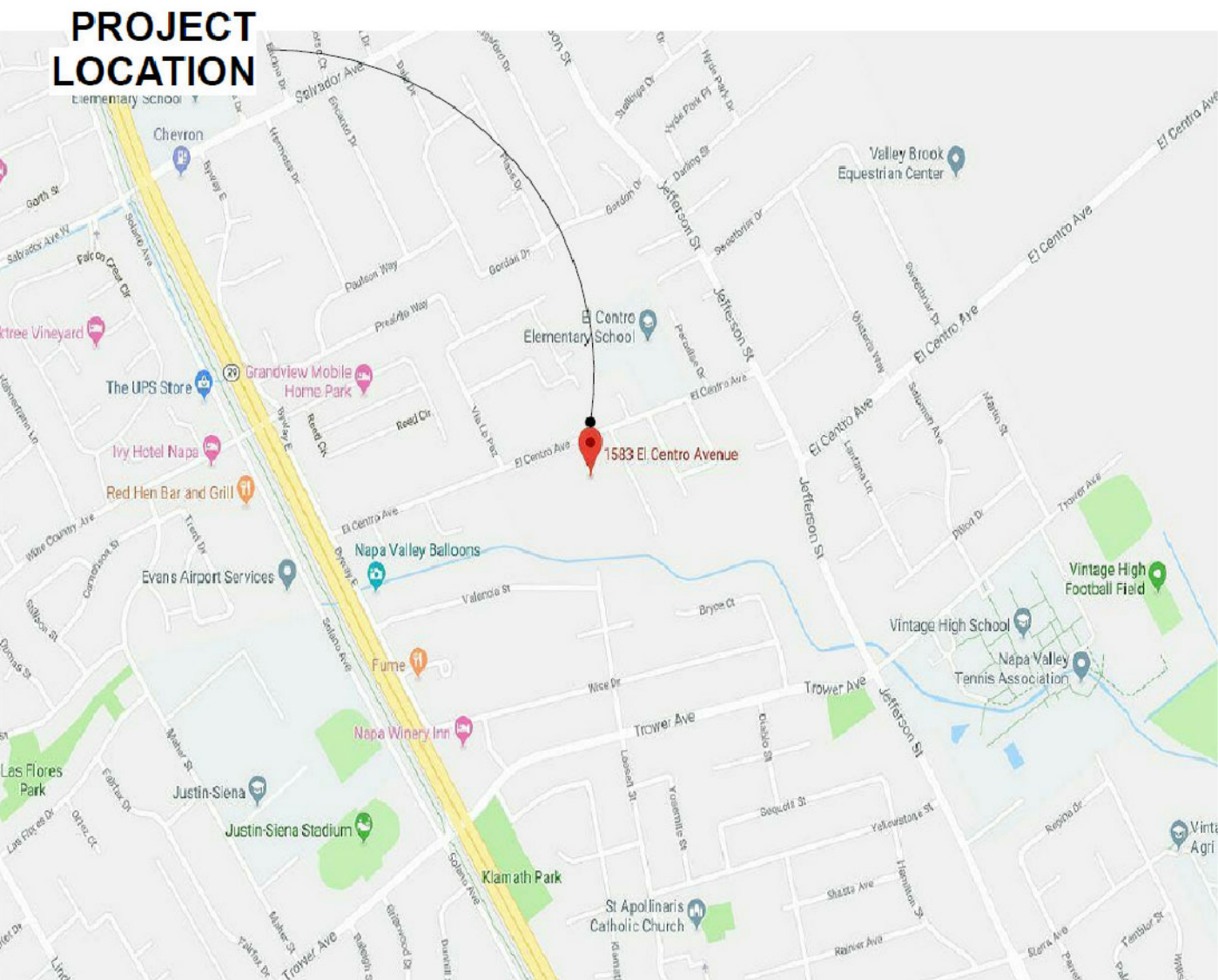
1 Cover Sheet View-Opt 1



2 Cover Sheet View-Opt 2

LEGEND

BUILDING SECTION (PLAN)		BUILDING SECTION NUMBER	ROOM NAME WITH FLOOR FINISH		ROOM NAME	FLOOR FINISH
BUILDING SECTION (ELEVATION)		SHEET NUMBER	WINDOW TAG			
ELEVATIONS			DOOR TAG		3068 = 36" WIDE BY 6'-8" TALL	
WALL SECTION			REVISION TAG			
DETAIL CALLOUT		DETAIL NUMBER	LEVEL TAGS		NAME ELEVATION	LEVEL NAME
DETAIL CUT (PLAN/SECTION)		SHEET NUMBER	LEVEL TAGS		NAME ELEVATION	LEVEL ELEVATION
RELATED DETAIL CUT BELOW OR ABOVE			DRAWING TITLE		1 DRAWING NAME	SCALE
			NORTH ARROWS		North	WORKING NORTH



VICINITY MAP

CODE INFORMATION

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

1. TRUSS CALCULATIONS AND SHOP DRAWINGS.

FIRE SPRINKLER SYSTEM.

ALL PORTION(S)/ITEM(S) BEING DEFERRED SHALL:

- BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
- NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	1st FLOOR PLAN
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLC
977 SALVADOR AVE.
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phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

DESIGNER

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Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
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NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

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GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1424 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-8
SPRINKLERED:	YES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1170 SF
Total Living Area		1170 SF
GARAGE / PORCH AREA		
Name	Level	Area
Garage	Garage Slab	267 SF
Front Porch	Garage Slab	77 SF
Rear Porch	Garage Slab	117 SF
Garage/Porch Area		461 SF

Date									
No.									

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

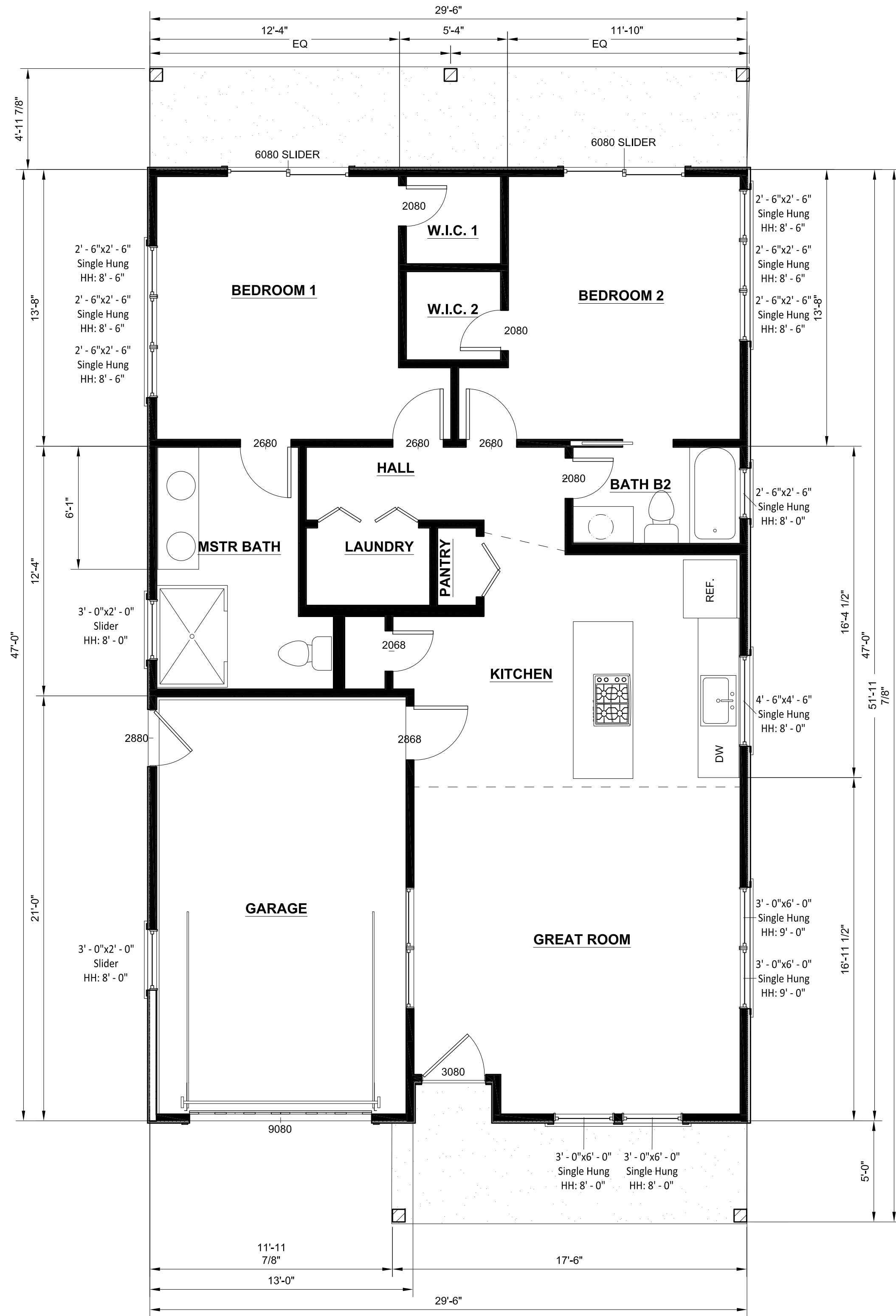
COVER SHEET

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000
	of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OR FABRICATION MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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PROJECT DATA

LIVING AREA			
Name	Level	Area	
Living Area	1st Flr Level	1170 SF	
Total Living Area		1170 SF	

GARAGE / PORCH AREA			
Name	Level	Area	
Garage	Garage Slab	267 SF	
Front Porch	Garage Slab	77 SF	
Rear Porch	Garage Slab	117 SF	
Garage/Porch Area		461 SF	

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

MOUNT VEEDER (Model #3)
1583 El Centro Ave.
Napa, CA 94558

1st FLOOR PLAN

CHECKED BY	kgeyer
DRAWN BY	jneal
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A201

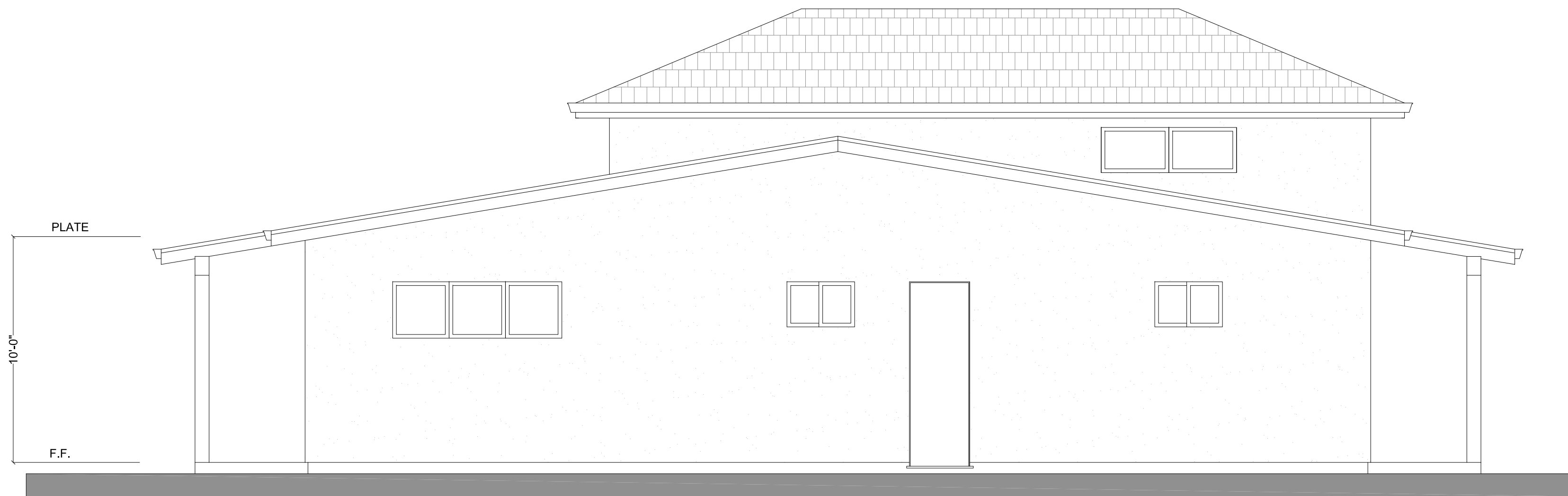
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THIS OFFICE, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. SHALL BE OBTAINED BY THE PERSON, FIRM OR CORPORATION TO WHOM SUCH PERMISSION IS GRANTED. GREENWOOD & MOORE, INC. SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS FABRICATION SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SCALE DETAILS OF APPROXIMATE SCALE SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL. BEFORE PROCEEDING WITH FABRICATION THE ITEMS SO NOTED SHALL BE REWORKED TO CONFORM TO THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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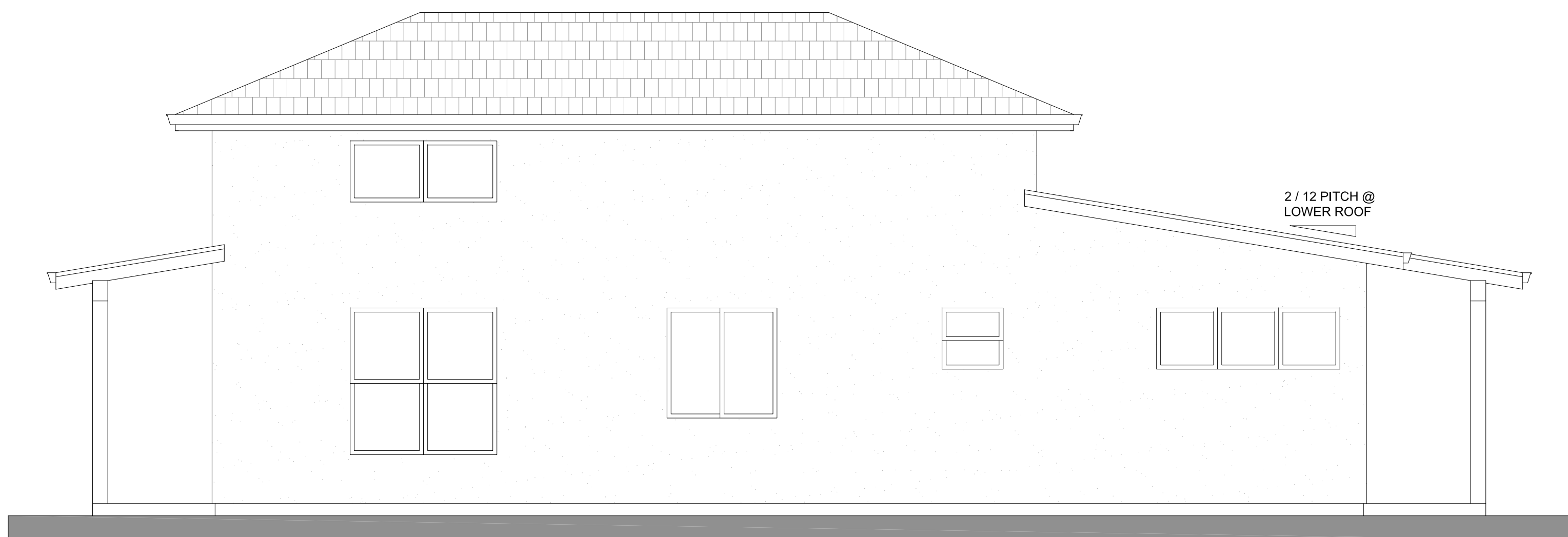
1 FRONT ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



4 RIGHT ELEVATION
1/4" = 1'-0"



ZINFANDEL SUBDIVISION

MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

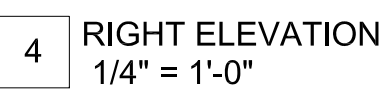
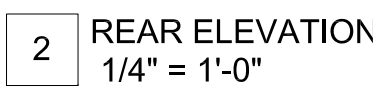
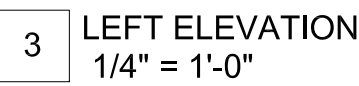
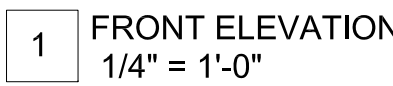
A321

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2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS OPTION 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

ZINFANDEL SUBDIVISION

TRINITY PROJECT, LLC COOMBSVILLE (Model #4)

1583 El Centro Ave.
Napa, CA 94558

ABBREVIATIONS

ABV.	ABOVE
AFF.	ABOVE FINISHED FLOOR
APPROX.A.	APPROXIMATE
BLDG.	BUILDING
B.	BEAM
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC..A.A.	CONCRETE
CONT.A.	CONTINUOUS
CTR.	CENTER
DET.	DETAIL
DH.	DOUBLE HUNG WINDOW
DN.	DOWN
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
EQ.	EQUAL
EXT.	EXTERIOR
F.A.	FINISH FLOOR
FIN.	FINISH
FOF.	FACE OF FINISHED MATERIAL
FOS.	FACE OF STUD
FX.	FIXED WINDOW
GA.	GAUGE
GC.	GENERAL CONTRACTOR
GYP.BD.A.	GYPSUM BOARD
HDR.	HEADER
HDWR.	HARDWARE
HT.	HEIGHT
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
NIC.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OVERHANG
REQD.	REQUIRED
SIM.	SIMILAR
S.	SLIDER WINDOW
STD.	STANDARD
S.O.G.	SLAB ON GRADE
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.SF.	TOP OF SUB-FLOOR
T.O.P.	TOP OF PLATE
T.O.WDW.	TOP OF WINDOW
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
WDW.	WINDOW

DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLAN
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

DESIGNER

KIRK GEYER
2276 LOMA HEIGHTS RD.
NAPA CA 94559
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
1515 Fourth Street
NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

LANDSCAPE ARCHITECT

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1591 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-B
SPRINKLERED:	YES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1517 SF
Total Living Area		1517 SF
GARAGE AREA & COVERED AREAS		
Name	Level	Area
Garage	1st Flr Level	356 SF
FRONT PORCH	1st Flr Level	128 SF
REAR PATIO	1st Flr Level	166 SF
TOTAL		650 SF
TOTAL AREA COVERAGE		2370 SF
LOT AREA		3892 SF
COVERAGE PERCENTAGE		60.9%

CODE INFORMATION

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

- TRUSS CALCULATIONS AND SHOP DRAWINGS.
- FIRE SPRINKLER SYSTEM.

ALL PORTION(S)ITEM(S) BEING DEFERRED SHALL:

- BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL BE STAMPED "REVIEWED AND APPROVED" AND THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK,
- NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY



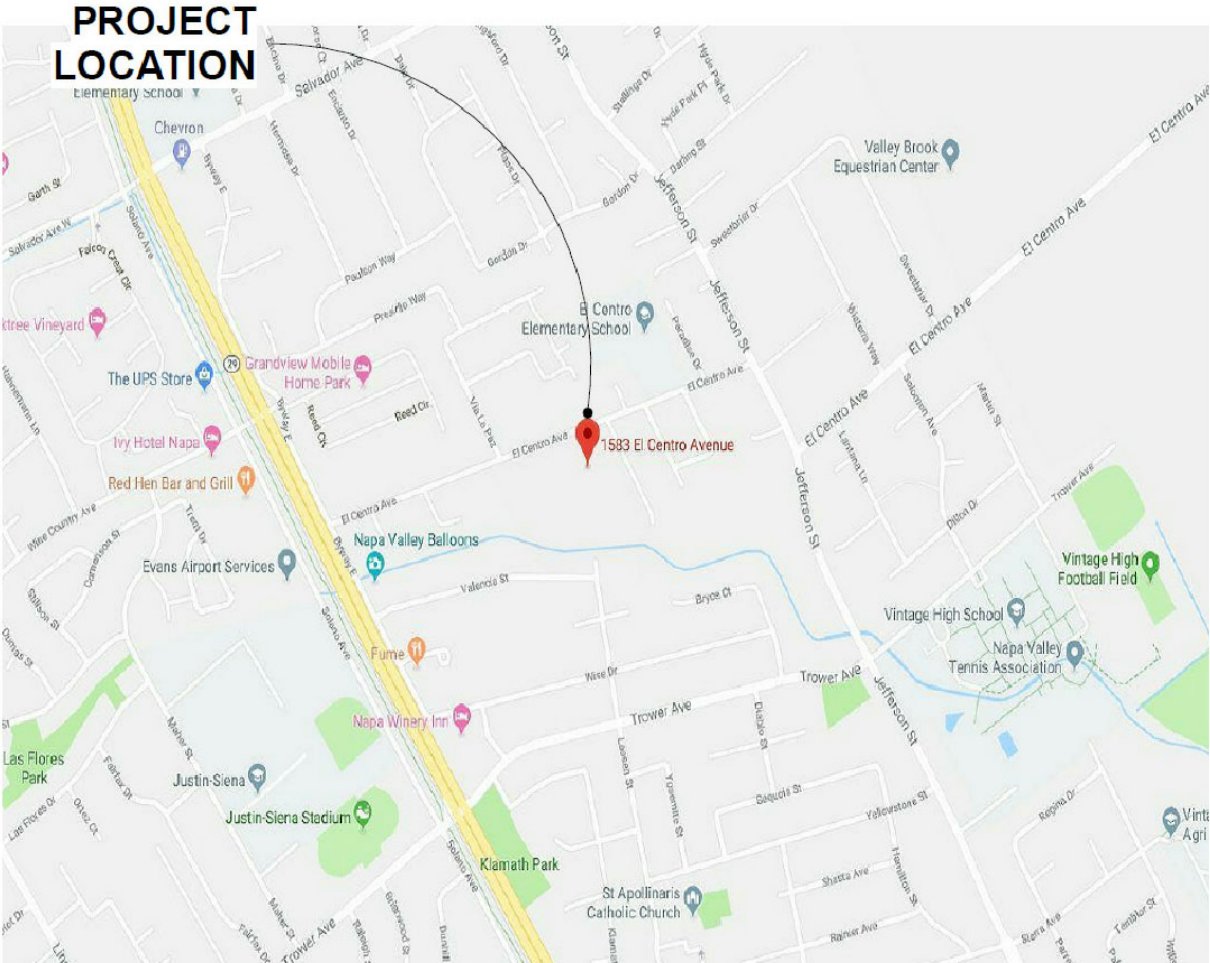
1 COVER SHEET OPT 1



2 COVER SHEET OPT 2

LEGEND

BUILDING SECTION (PLAN)		BUILDING SECTION NUMBER
BUILDING SECTION (ELEVATION)		SHEET NUMBER
ELEVATIONS		
WALL SECTION		
DETAIL CALLOUT		DETAIL NUMBER
DETAIL CUT (PLAN/SECTION)		SHEET NUMBER
RELATED DETAIL CUT BELOW OR ABOVE		
ROOM NAME WITH FLOOR FINISH		ROOM NAME FLOOR FINISH
WINDOW TAG		
DOOR TAG		3068 = 36" WIDE BY 6'-8" TALL
REVISION TAG		
LEVEL TAGS		LEVEL NAME NAME ELEVATION NAME ELEVATION
DRAWING TITLE		DRAWING NAME SCALE
NORTH ARROWS	 	North WORKING NORTH



VICINITY MAP



2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

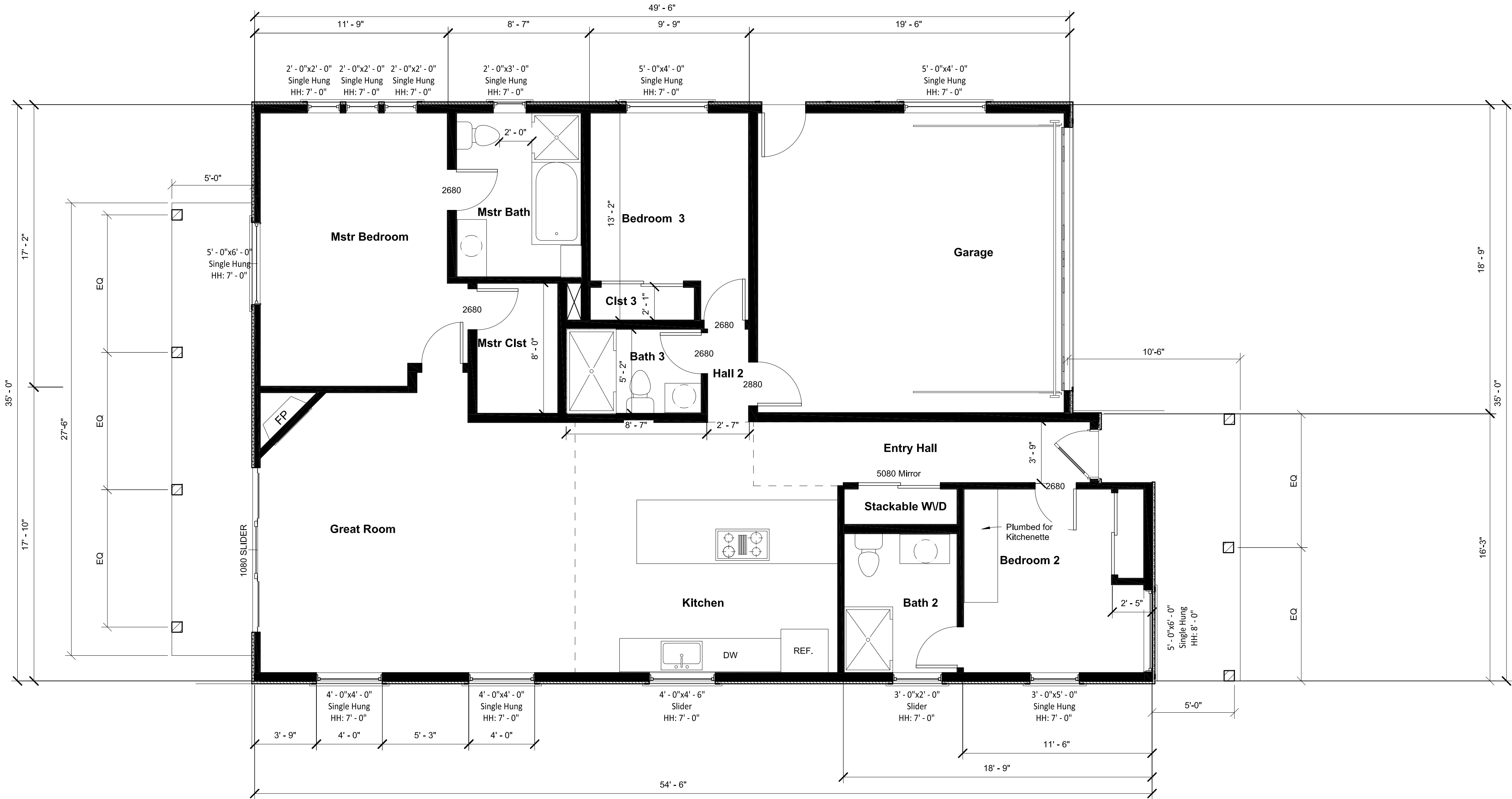
COOMBSVILLE (Model #4)
1583 El Centro Ave.
Napa, CA 94558

COVER SHEET

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DISCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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1 01-Floor-New
1/4" = 1'-0"

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1498 SF
Total Living Area		1498 SF
GARAGE AREA & COVERED AREAS		
Name	Level	Area
Garage	1st Flr Level	356 SF
FRONT PORCH	1st Flr Level	128 SF
REAR PATIO	1st Flr Level	166 SF
TOTAL		650 SF

FLOOR PLAN

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A201

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NAPA CA 94558
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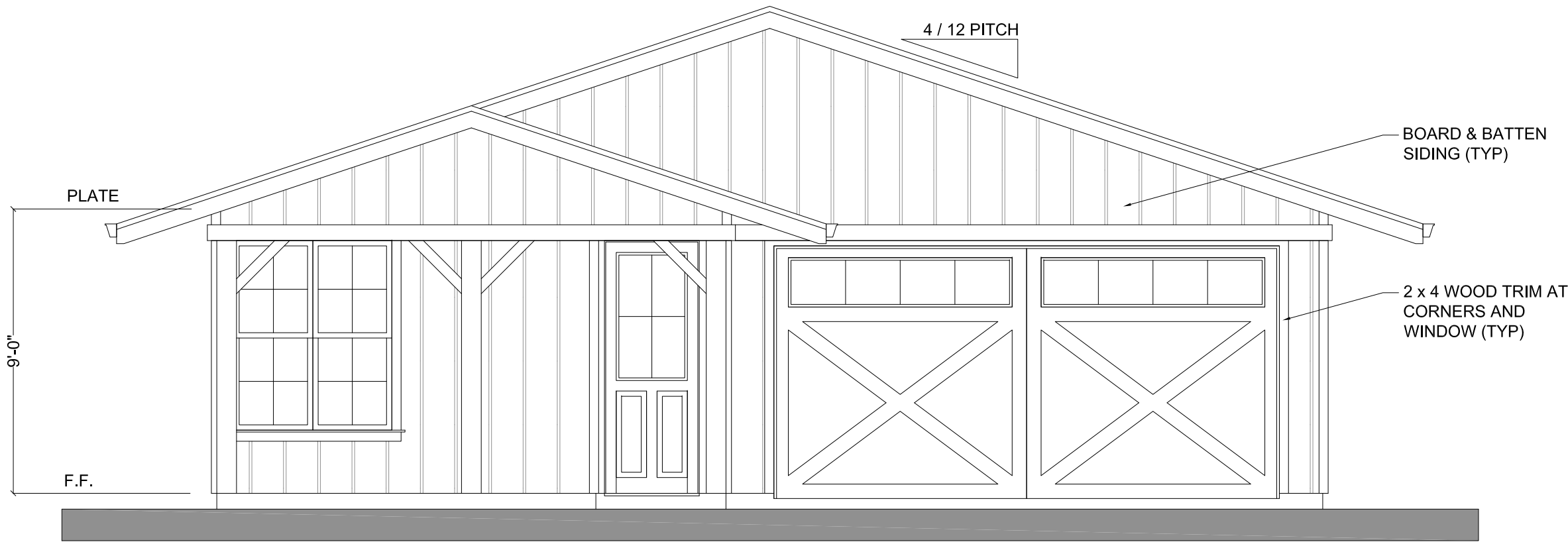


ZINFANDEL
SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

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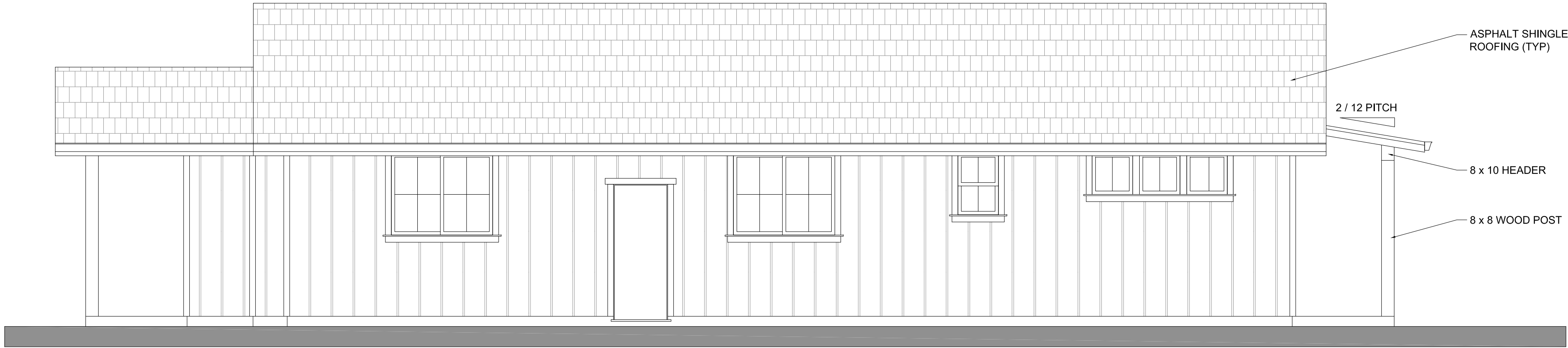
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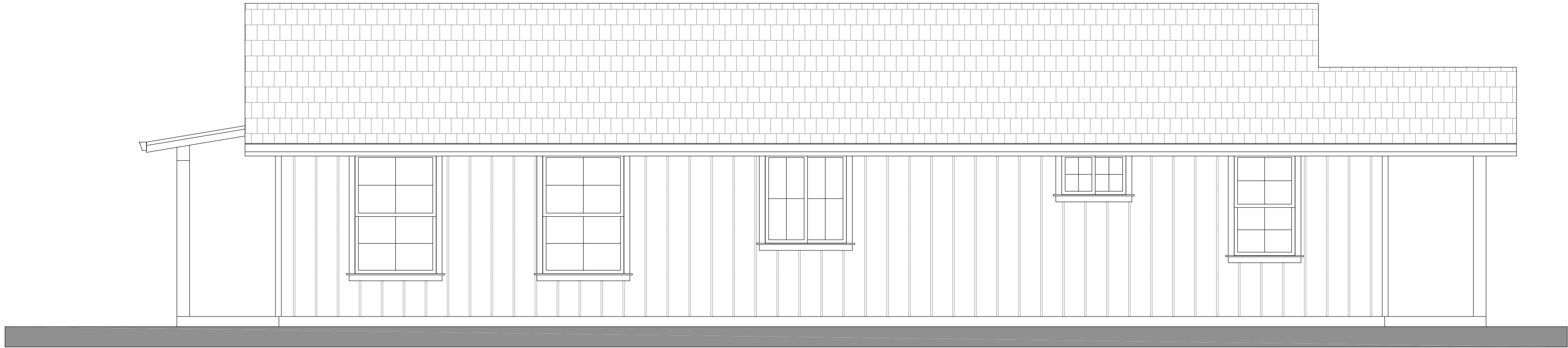
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1/4" = 1'-0"



2 REAR ELEVATION-Opt 1
1/4" = 1'-0"



3 RIGHT ELEVATION-Opt 1
1/4" = 1'-0"



4 LEFT ELEVATION-Opt 1
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

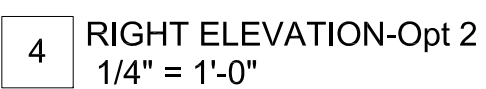
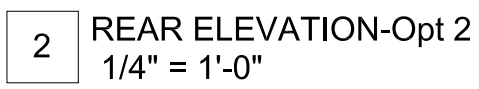
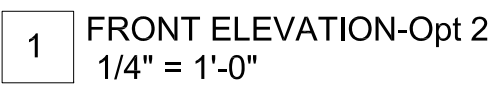
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DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

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Estates\ REVIT\2020.08.204_17056 Zinfandel Coombsville #4 r1.rvt



KIRK GEYER DESIGN / BUILD

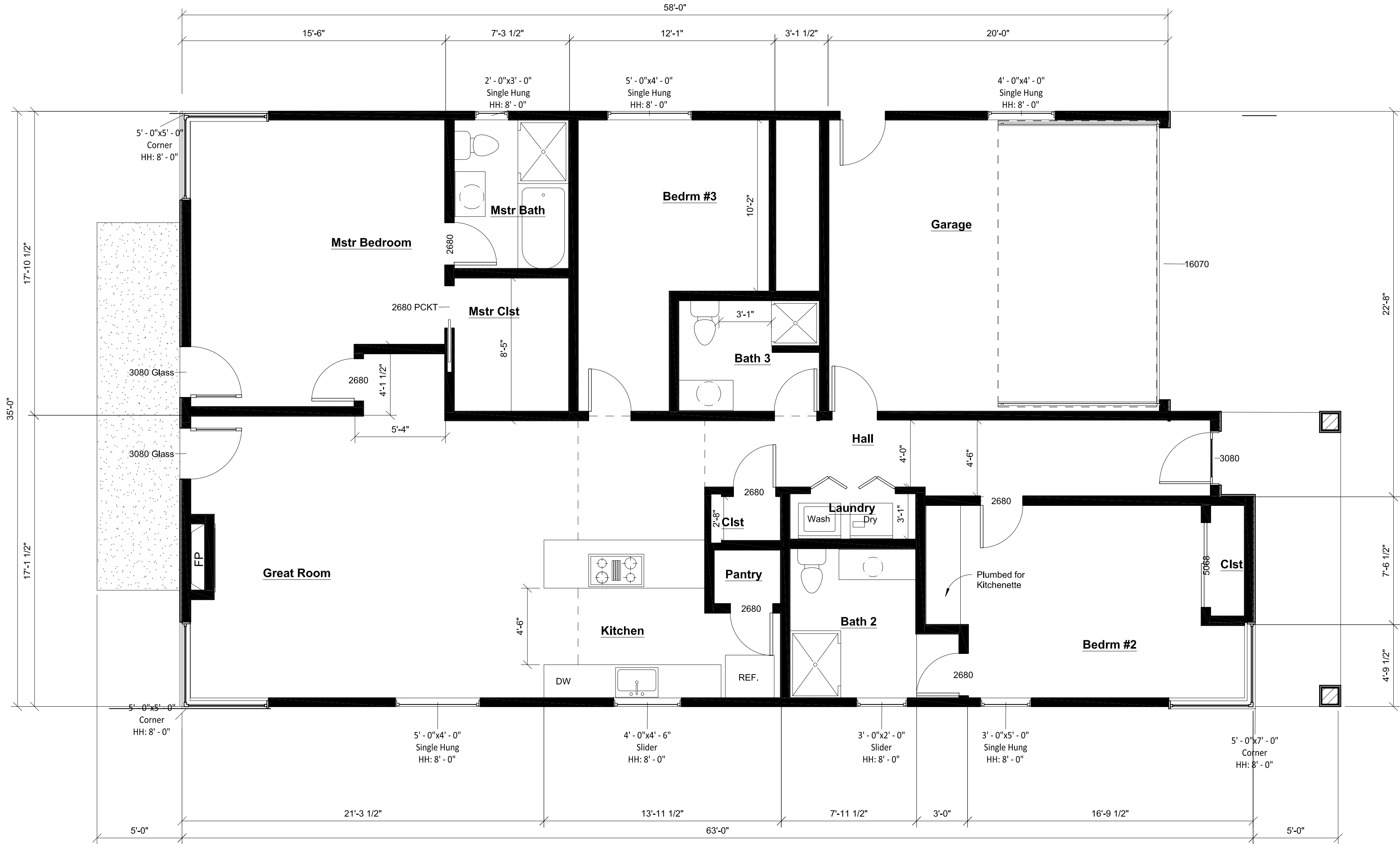
COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

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C:\Users\John R\Downloads\5_17056_Zinfandel_Chile's Valley_#5_1.rvt 8/14/2023 7:41:24 AM



1 01-Floor-New-Opt 2
1/4" = 1'-0"

KEYNOTES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1753 SF
Total Living Area		1753 SF

GARAGE / COVERED AREA

Name	Level	Area
Garage	Garage Slab	351 SF
Front Porch	Garage Slab	132 SF
Garage / Covered Area		483 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

FLOOR PLAN

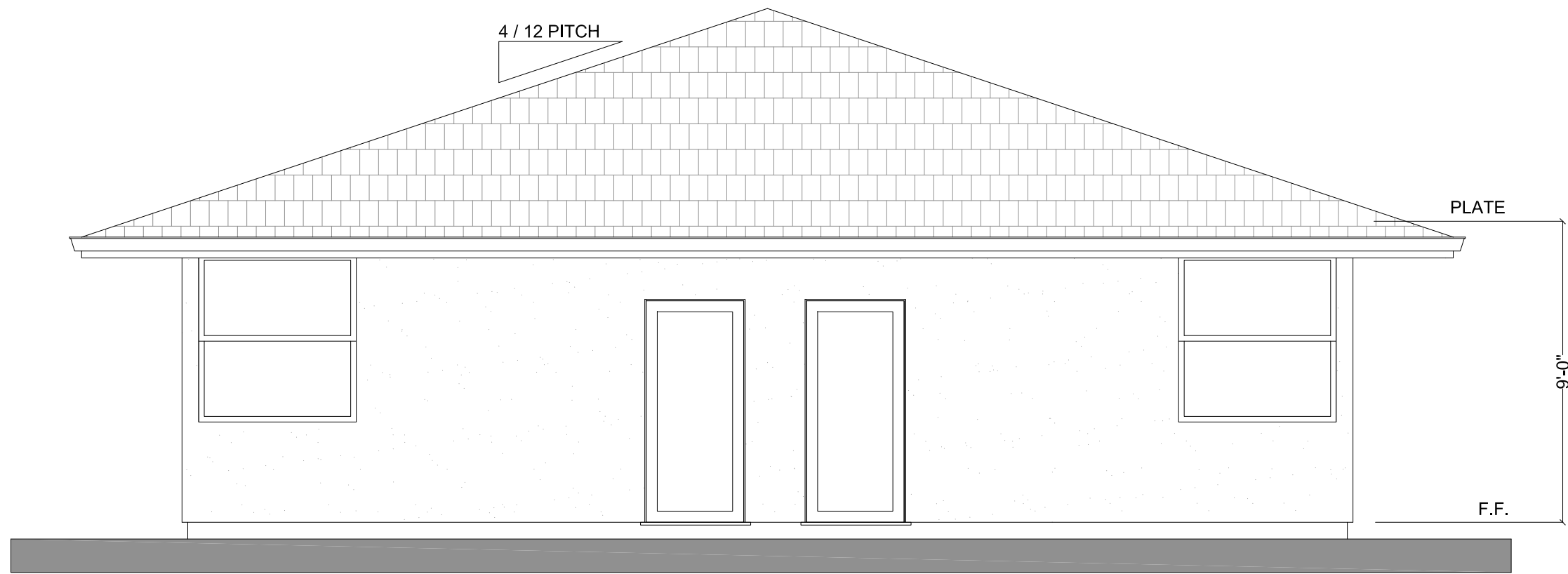
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DRAWN BY	JNEAL
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PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A201 of

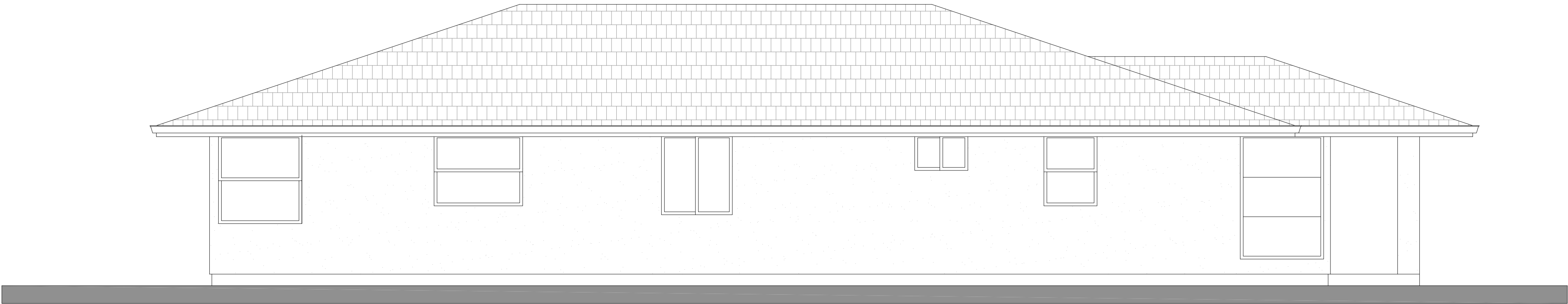
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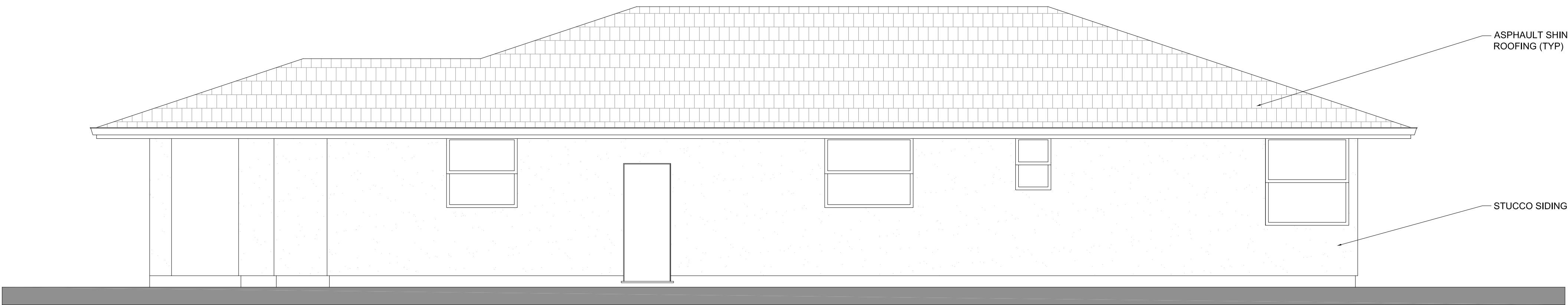
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1/4" = 1'-0"



4 REAR ELEVATION - Option 1
1/4" = 1'-0"



1 LEFT ELEVATION - Option 1
1/4" = 1'-0"



2 RIGHT ELEVATION - Option 1
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

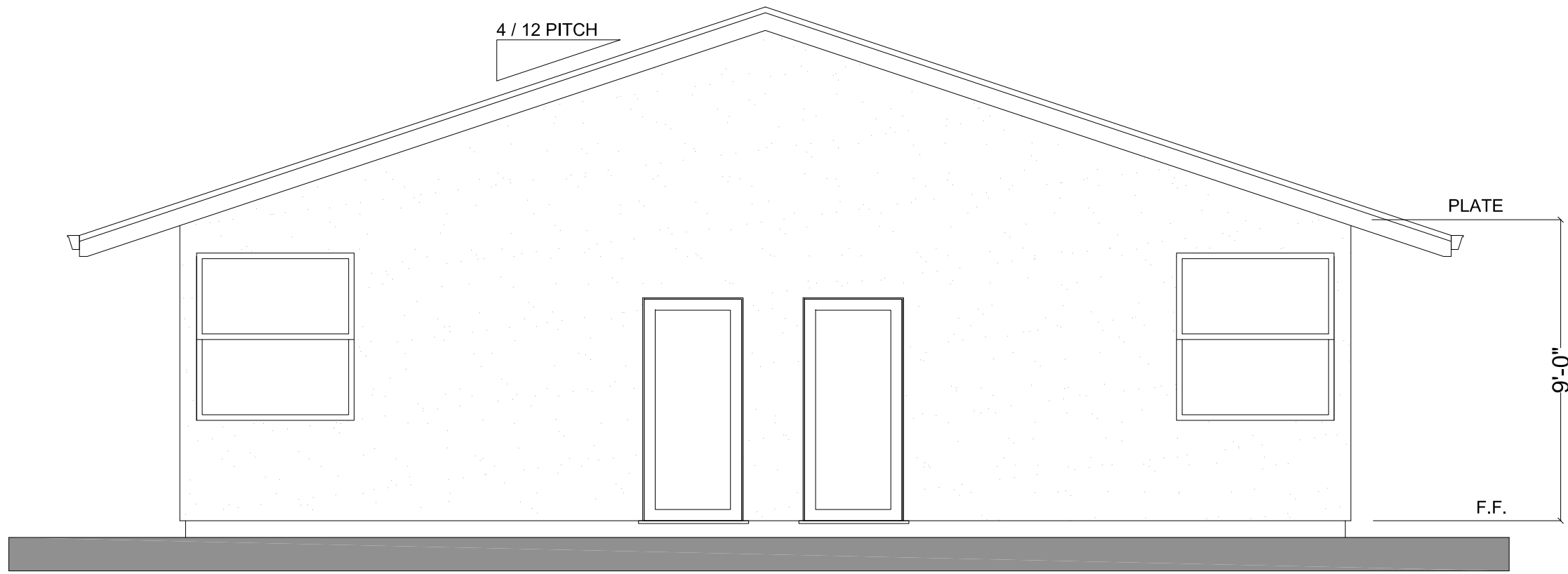
ELEVATIONS-Opt 1

CHECKED BY	KGeyer
DRAWN BY	Jneal
SCALE	1/4" = 1'-0"
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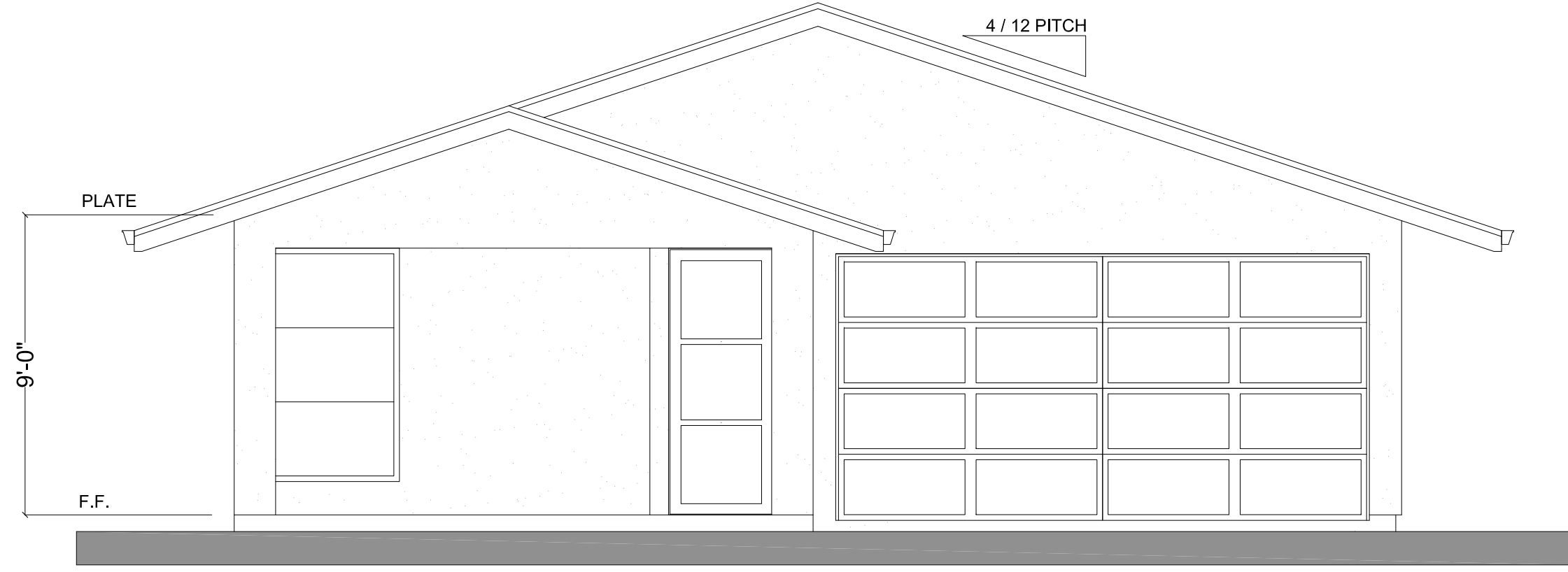
SHEET NO.
A321 of

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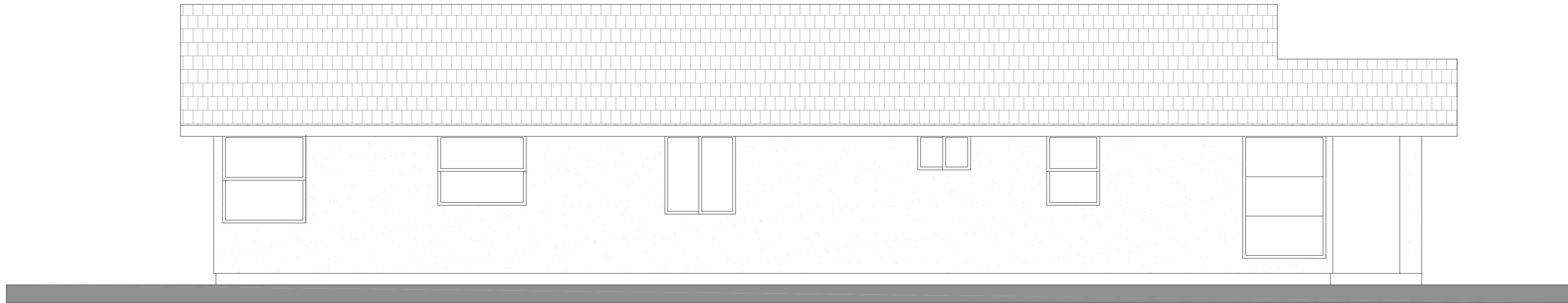
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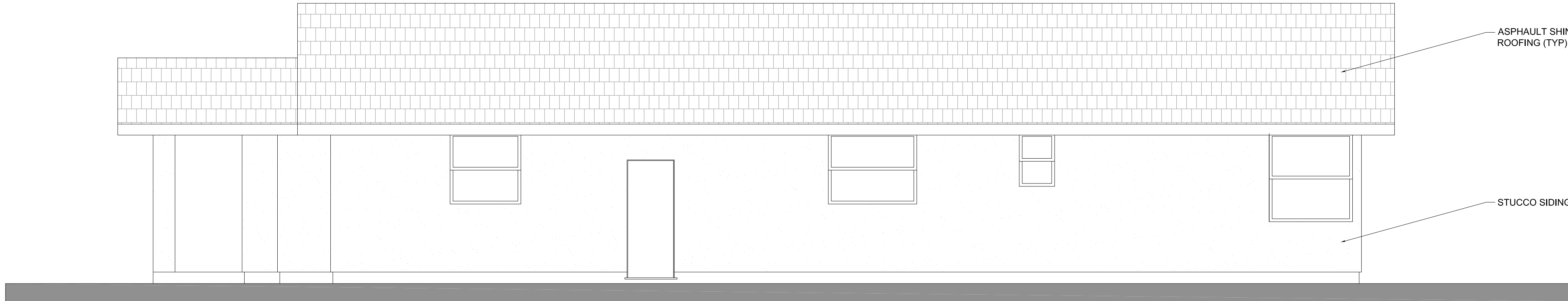
1 REAR ELEVATION-Opt 2
1/4" = 1'-0"



2 FRONT ELEVATION - Opt 2
1/4" = 1'-0"



3 LEFT ELEVATION - Opt 2
1/4" = 1'-0"



4 RIGHT ELEVATION - Opt 2
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS-Opt 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	

12/15/2020 5:08:14 PM

ABV. ABOVE
AFF ABOVE FINISHED FLOOR
APPROX. APPROXIMATE
BLDG. BUILDING
B BEAM
CLG. CEILING
CLR. CLEAR
COL. COLUMN
CON. CONCRETE
CONT. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH DOUBLE WINDOW
DN. DOWN
DWG. DRAWING
(E) EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH
FOF FACE OF FINISHED MATERIAL
FOS FACE OF STUD
FX FIXED WINDOW
GX GAUGE
GC GENERAL CONTRACTOR
GYP.B.D.A. GYPSUM BOARD
HDR. HEADER
HWR. HARDWARE
H. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N) NEW
NIC NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG
REQD. REQUIRED
SIM. SIMILAR
S. SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.T. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.W.DW. TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.F. VERIFY IN FIELD
WDW WINDOW

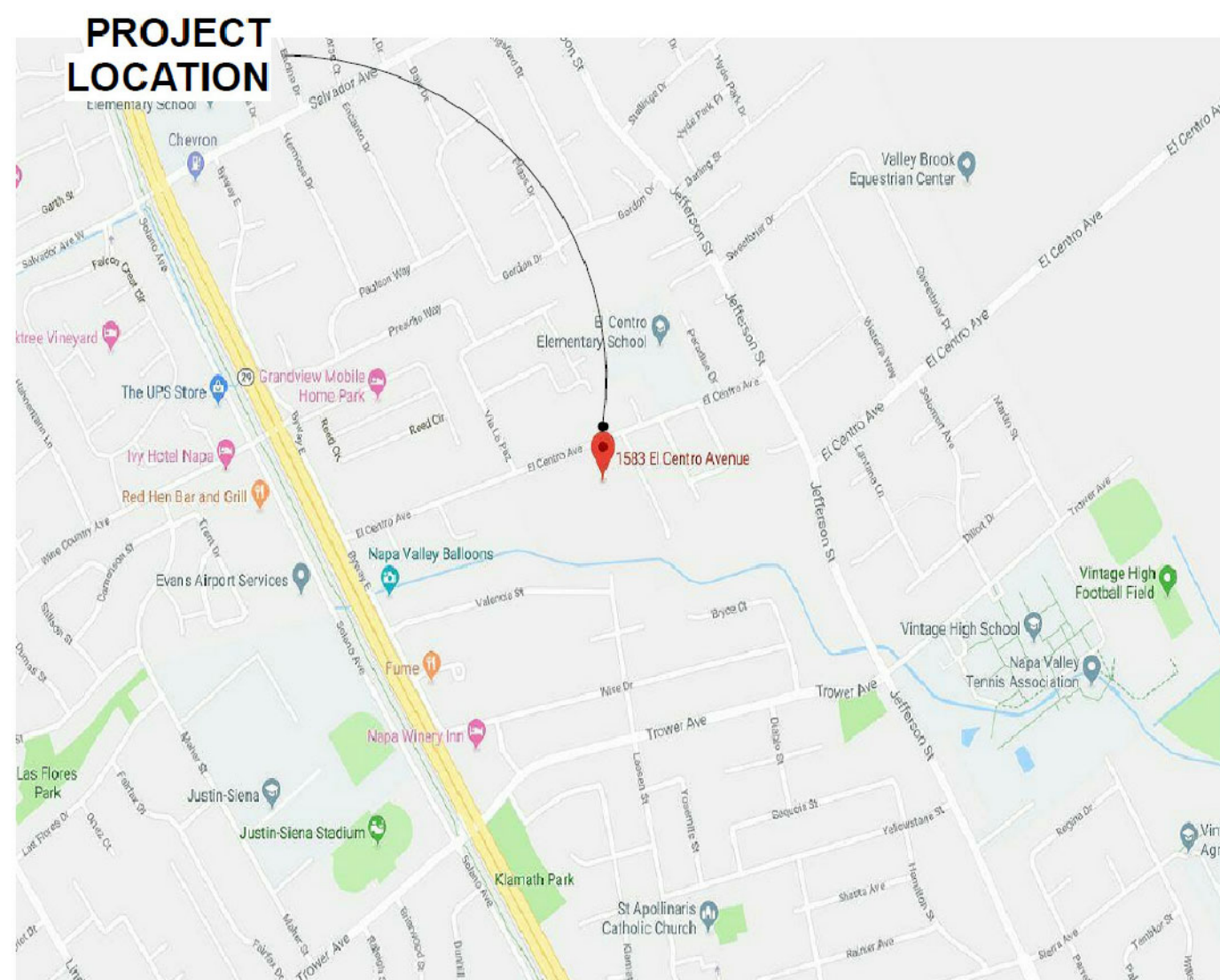


C:\Users\John R\Dropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel_Estate\ REVIT\2020\08\2016_17056_Zinfandel_Sans_Lea_#6.rvt



2 2-FRONT ELEVATION - Opt 2

		BUILDING SECTION NUMBER		ROOM NAME WITH FLOOR FINISH	ROOM NAME FLOOR FINISH
BUILDING SECTION (PLAN)		SHEET NUMBER	WINDOW TAG		
BUILDING SECTION (ELEVATION)			DOOR TAG	3068 = 36" WIDE BY 6'-8" TALL	
ELEVATIONS			REVISION TAG		LEVEL NAME
WALL SECTION			LEVEL TAGS	NAME ELEVATION	LEVEL ELEVATION
DETAIL CALLOUT		DETAIL NUMBER		NAME ELEVATION	
		SHEET NUMBER	DRAWING TITLE		SCALE
DETAIL CUT (PLAN/SECTION)			NORTH ARROWS		North
RELATED DETAIL CUT BELOW OR ABOVE					WORKING



VICINITY MAP



NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS-Opt 1
A322	ELEVATIONS- Opt 2

OWNER
TRINITY PROJECT, LLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

KIRK GEYER
2276 LOMA HEIGHTS RD.
NAPA CA 94559
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

RSA
1515 Fourth Street
NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE
ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES	

NEW CUSTOM 1965 S.F. SINGLE FAMILY HOME

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT

OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

LIVING AREA

<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	1108 SF
2nd Flr Area	2nd Flr Level	856 SF
Total Living Area		1964 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	440 SF
Front Porch	1st Flr Level	90 SF
Rear Porch 1	1st Flr Level	124 SF
Rear Porch 2	1st Flr Level	86 SF
Side Porch	1st Flr Level	116 SF
Driveway	1st Flr Level	200 SF
Garage / Covered Area		1056 SF

[illegible]

**22726 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL
SUBDIVISION

STAGS LEAP (Model
#6)
1583 EL CENTRO
AVE.
NAPA, CA 94558

COVER SHEET

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	As indicated
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	

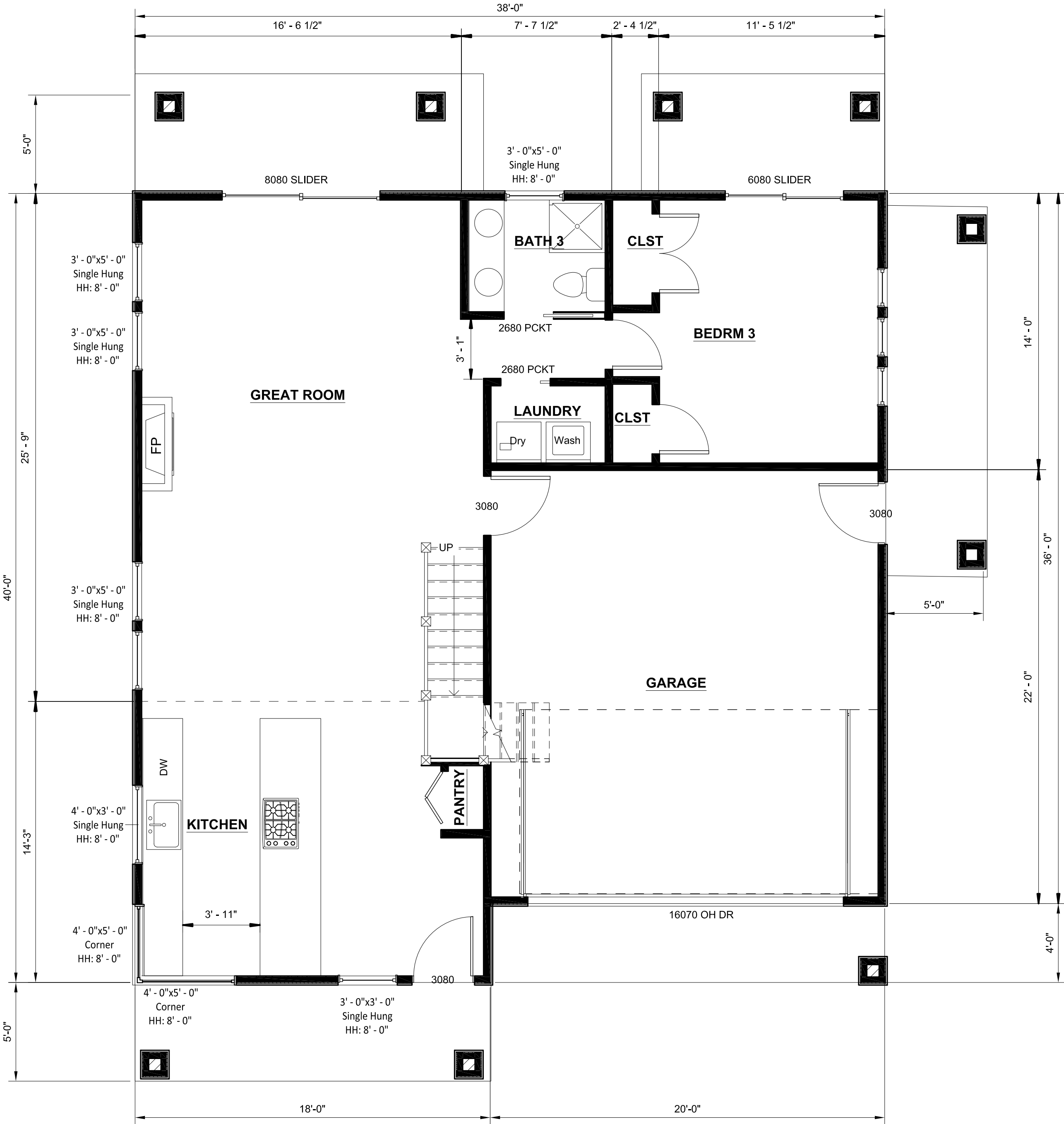
A000

of

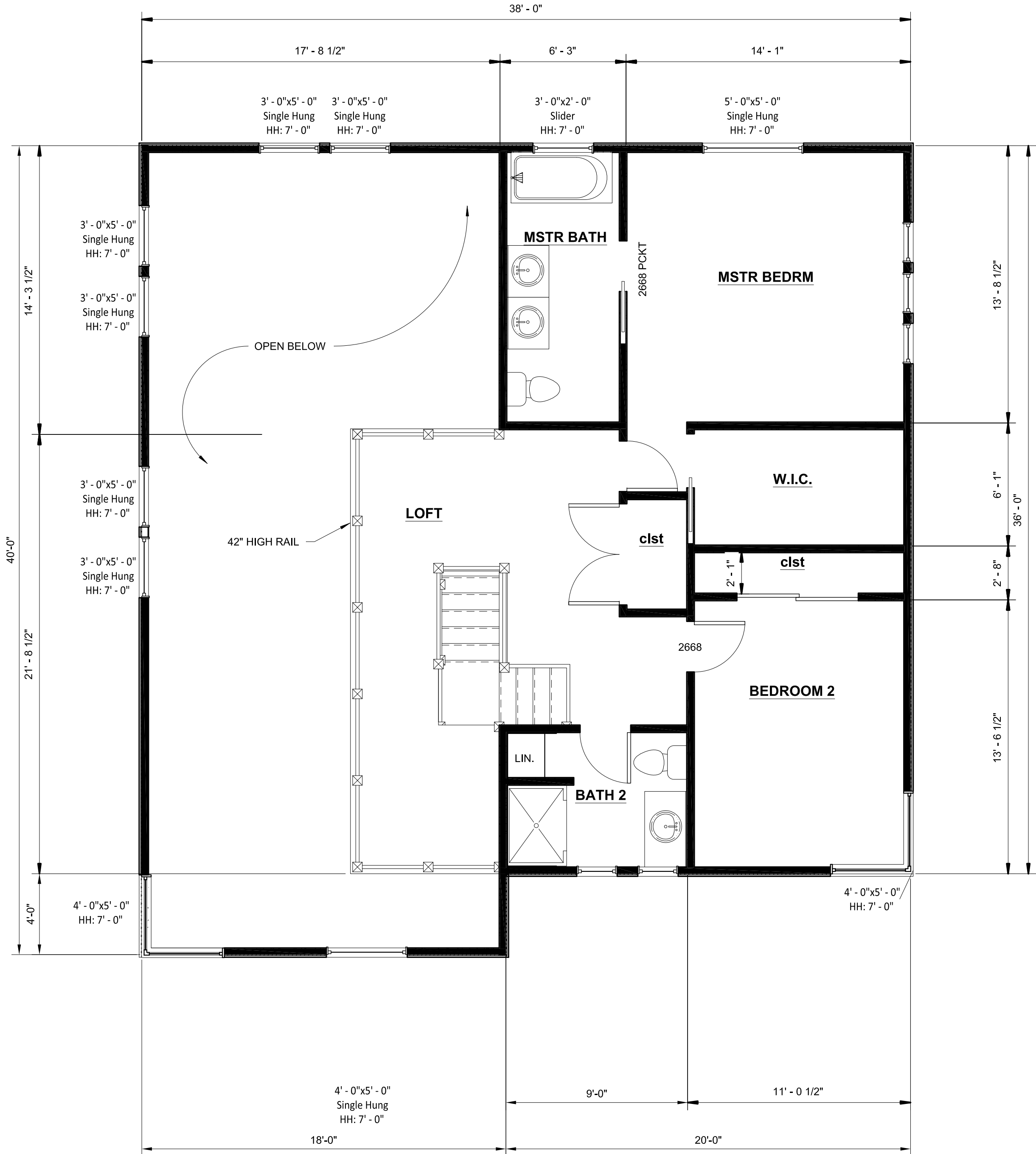
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 5:08:19 PM

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1 01-Floor-New-Opt 1
1/4" = 1'-0"



2 02-Floor-New-Opt 1

PROJECT DATA

LIVING AREA		
Name	Level	Area
1st Flr Area	1st Flr Level	1108 SF
2nd Flr Area	2nd Flr Level	856 SF
Total Living Area		1964 SF

GARAGE / COVERED AREA		
Name	Level	Area
Garage	1st Flr Level	440 SF
Front Porch	1st Flr Level	90 SF
Rear Porch 1	1st Flr Level	124 SF
Rear Porch 2	1st Flr Level	86 SF
Side Porch	1st Flr Level	116 SF
Driveway	1st Flr Level	200 SF
Garage / Covered Area		1056 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

FLOOR PLANS

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A201 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOWN DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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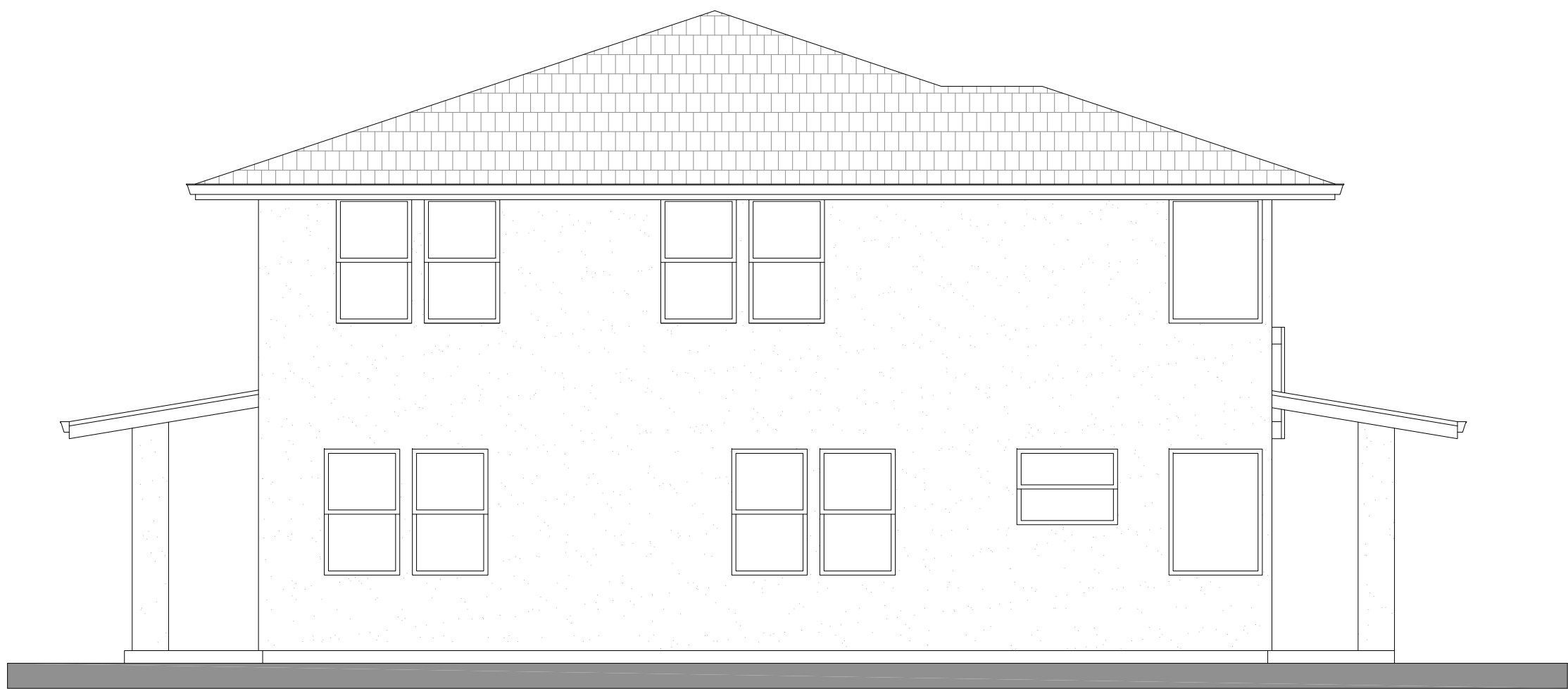
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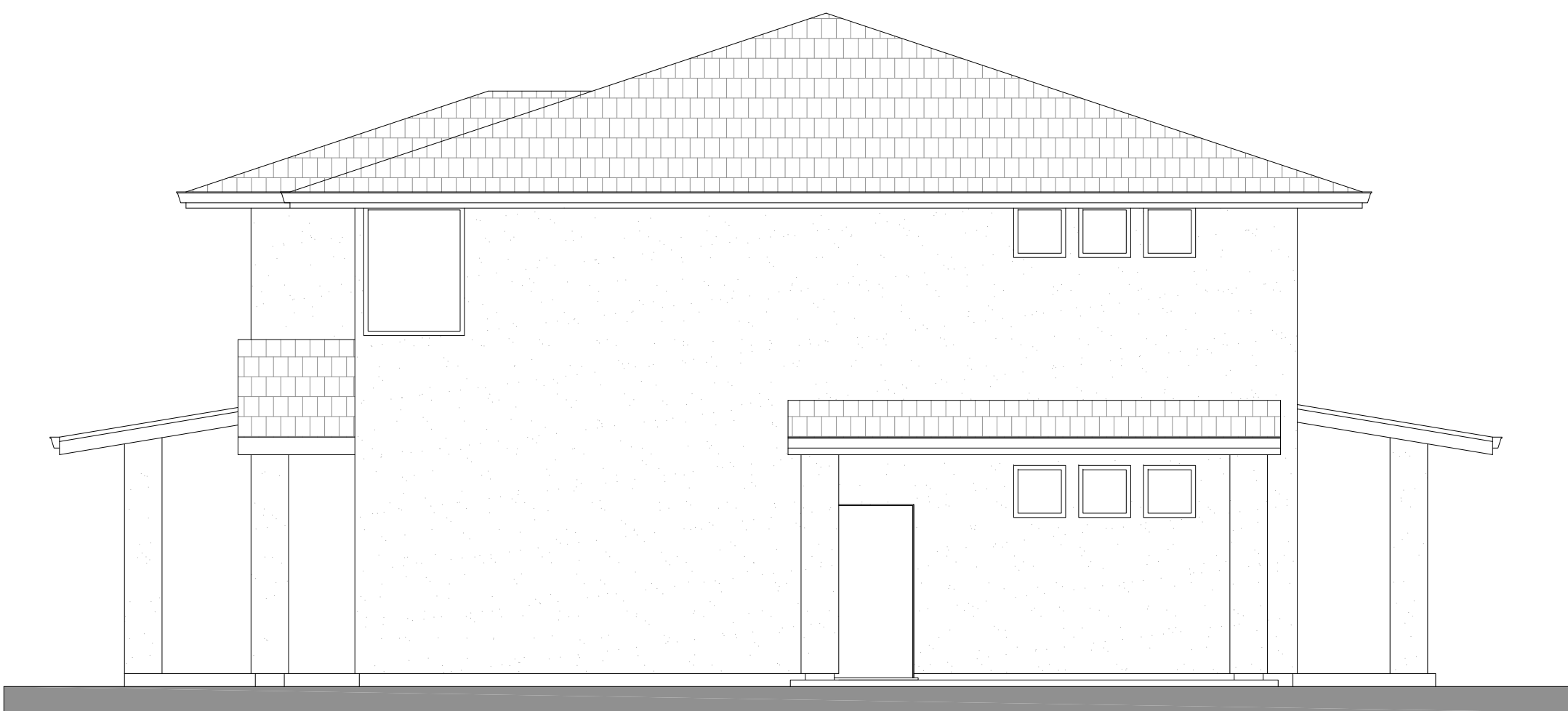
1 1-FRONT ELEVATION - Opt 1



2 REAR ELEVATION - OPT 1



3 3-LEFT ELEVATION-Opt 1



4 4-RIGHT ELEVATION-Opt 1

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

ELEVATIONS-Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	



**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

ELEVATIONS-Opt 2

CHECKED BY	Checker
DRAWN BY	Author
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DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

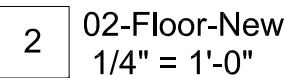
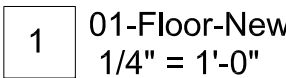
SHEET NO. _____

A322

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5/28/2021 6:13:48 PM

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<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	911 SF
2nd Flr Area	2nd Flr Level	1037 SF
Total Living Area		1948 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	524 SF
Garage Area		524 SF

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CARNEROS (Model
(Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

FLOOR PLANS

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	

SHEET NO.

A201

of

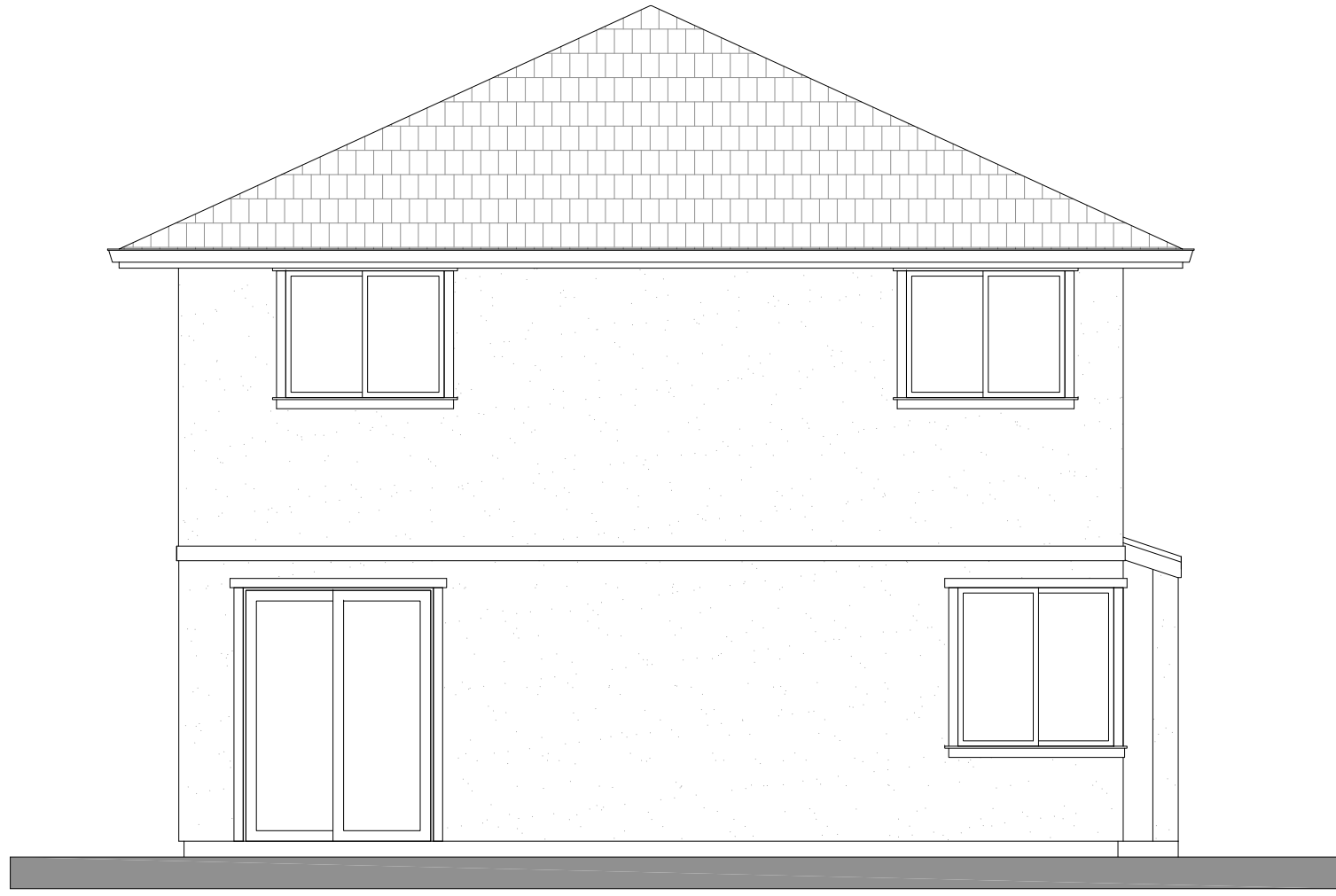
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOWN DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/16/2020 10:17:16 AM

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1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 REAR ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET

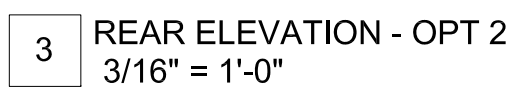
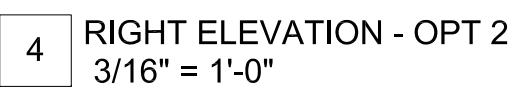
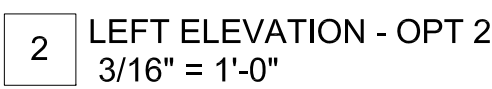
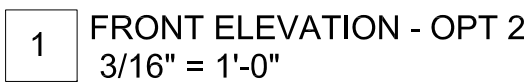
KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.16.2020
PROJECT NO.	17037
PHASE NO.	
SHEET NO.	A321 of

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**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL SUBDIVISION

CARNEROS (Model
(Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ELEVATION - OPT 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	

SHEET NO.

A322

of

ABBREVIATIONS

ABV. ABOVE
AFF. ABOVE FINISHED FLOOR
APPROX.A. APPROXIMATE
BLDG. BUILDING
B. BEAM
CLG. CEILING
CLR. CLEAR
COL. COLUMN
CONC..A.A. CONCRETE
CONT.A. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH. DOUBLE HUNG WINDOW
DN. DOWN
DWG. DRAWING
(E) EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH
FOP. FACE OF FINISHED MATERIAL
FOS. FACE OF STUD
FX. FIXED WINDOW
GA. GAUGE
GC. GENERAL CONTRACTOR
GYP.BD.A. GYPSUM BOARD
HDR. HEADER
HDWR. HARDWARE
HT. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N) NEW
NIC. NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG
REQD. REQUIRED
SIM. SIMILAR
S. SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.SF. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.O.WDW. TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
WDW. WINDOW

ZINFANDEL SUBDIVISION
TRINITY PROJECT, LLC
ATLAS PEAK (with ADU) (Model #8)
1583 EL CENTRO AVE.
NAPA, CA 94558



1 COVER SHEET VIEW - OPT 1



2 COVER SHEET VIEW - OPT 2

DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

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KIRK GEYER
2276 LOMA HEIGHTS RD.
NAPA CA 94559
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Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
1515 Fourth Street
NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

LANDSCAPE ARCHITECT

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1,999 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

PROJECT DATA

LIVING AREA

Name	Level	Area
1st Floor Area	1st Flr Level	936 SF
2nd Floor Area	2nd Flr Level	1042 SF
ADU	1st Flr Level	384 SF
Total Living Area		2362 SF

GARAGE / PORCH AREA

Name	Level	Area
Garage Area	Garage Slab	475 SF
Front Porch Area	Garage Slab	355 SF
Garage/Porch Area		830 SF

CODE INFORMATION

BUILDING CODE: 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE: 2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE
FIRE CODE: 2016 CALIFORNIA FIRE CODE
ENERGY CODE: 2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

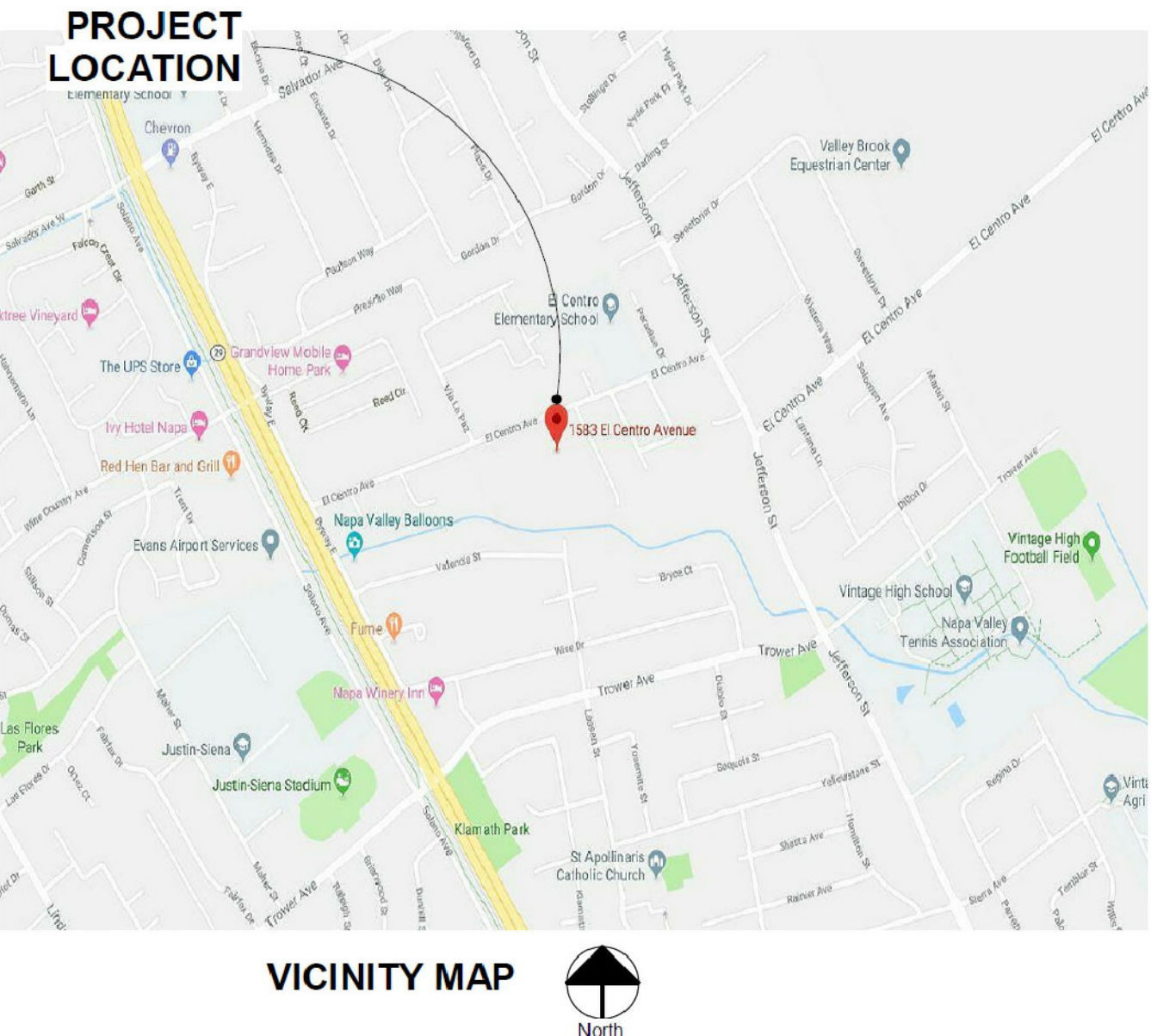
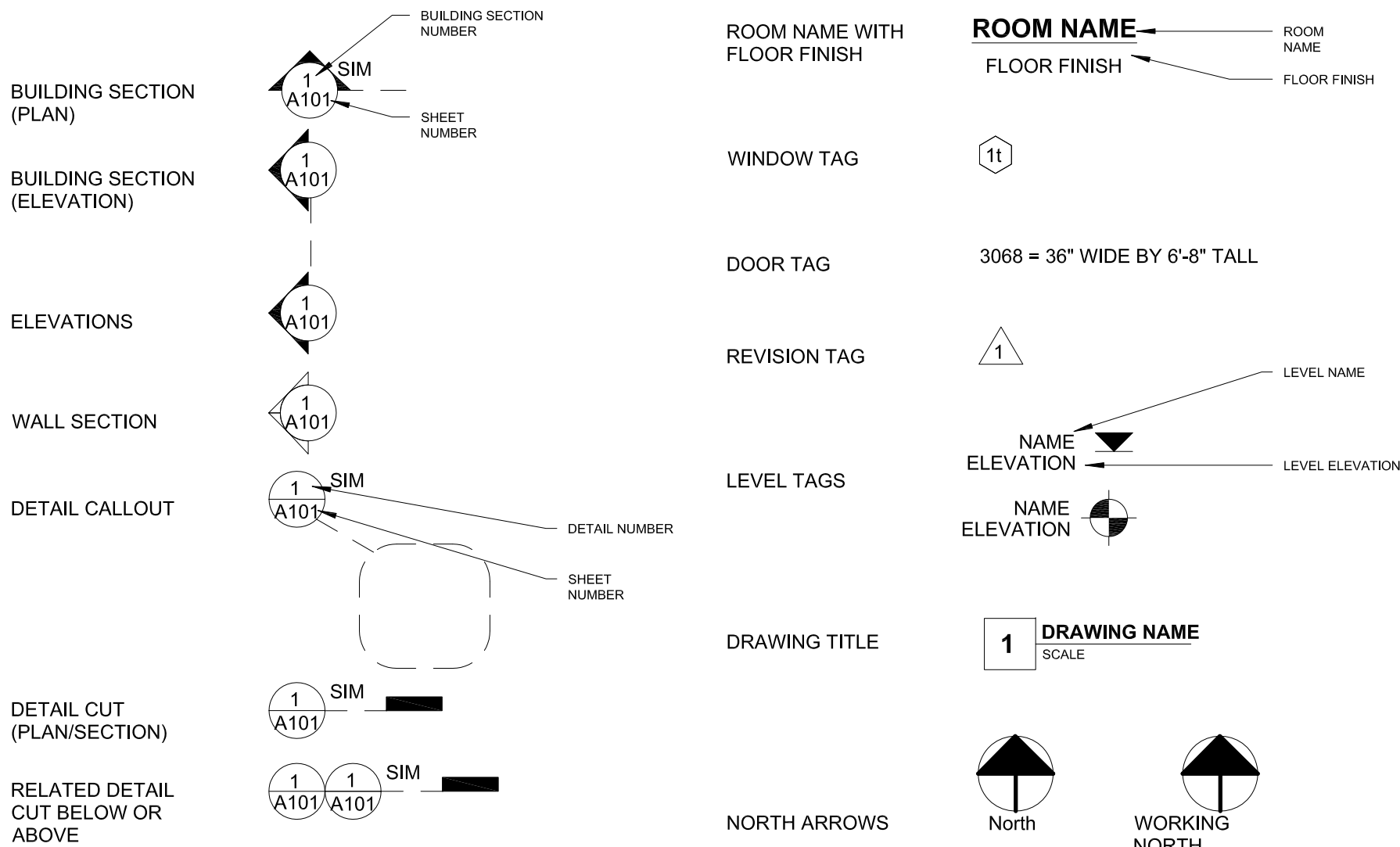
ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

- TRUSS CALCULATIONS AND SHOP DRAWINGS.
- FIRE SPRINKLER SYSTEM.
- ALL PORTION(S)ITEM(S) BEING DEFERRED SHALL:
 - BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
 - BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
 - REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
 - NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

LEGEND



2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

COVER SHEET

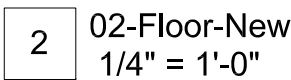
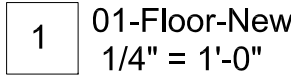
CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000

The logo for Kirk Geyer Design/Build features a stylized 'KG' monogram in a bold, black, sans-serif font. The 'K' and 'G' are interconnected, with the 'G' having a distinctive four-paned window-like shape in its upper right. To the right of the monogram, the words 'KIRK GEYER DESIGN/BUILD' are written in a smaller, black, sans-serif font, stacked vertically.

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

CHECKED BY	KGeyer
DRAWN BY	The Digital Realm
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

A201 of 6



<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Floor Area	1st Flr Level	936 SF
2nd Floor Area	2nd Flr Level	1042 SF
ADU	1st Flr Level	384 SF
Total Living Area		2362 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage Area	Garage Slab	475 SF
Front Porch Area	Garage Slab	355 SF
Garage/Porch Area		830 SF

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOWN DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 4:31:00 PM

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1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 REAR ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

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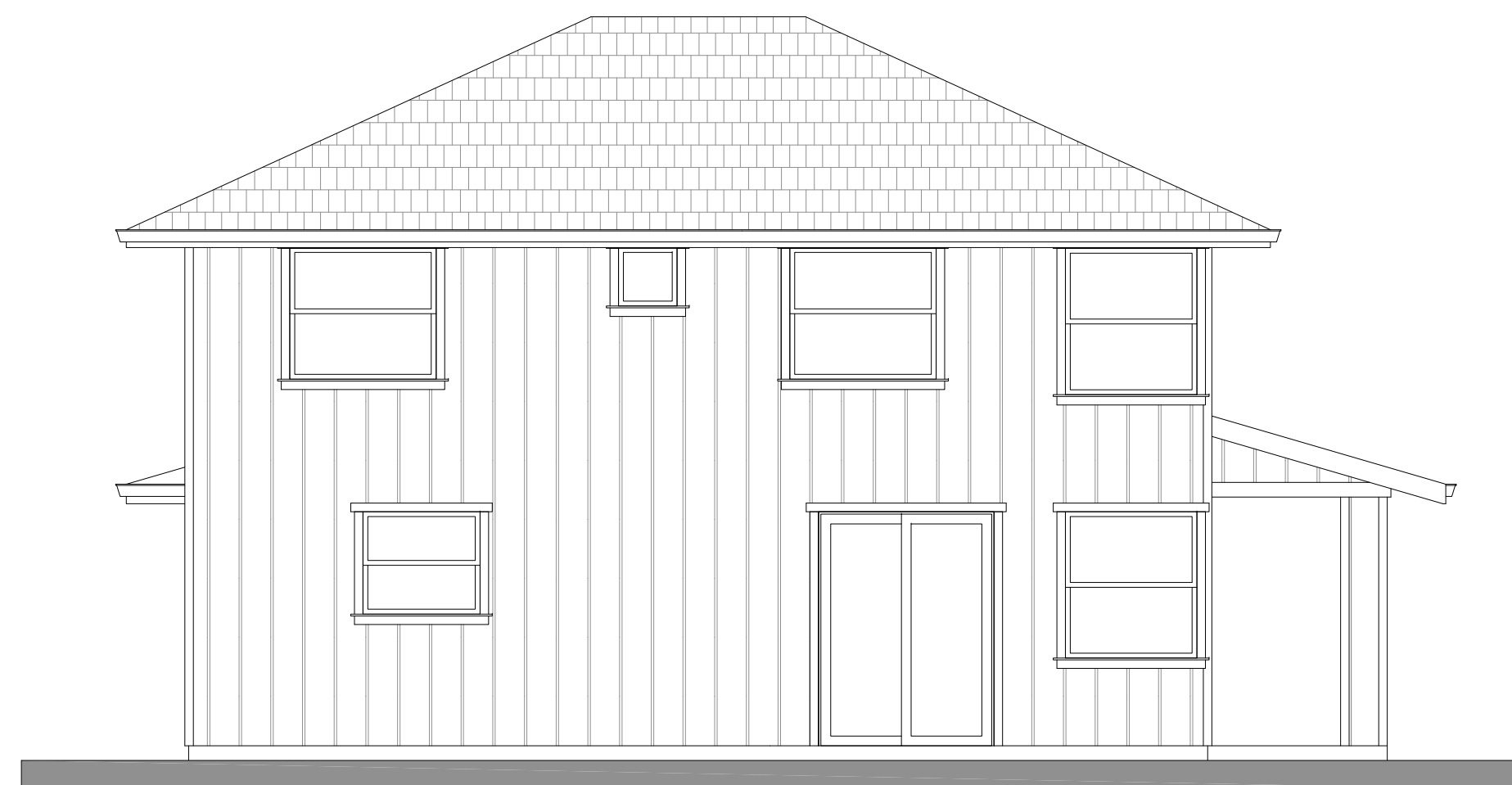
1 FRONT ELEVATION - OPT 2
3/16" = 1'-0"



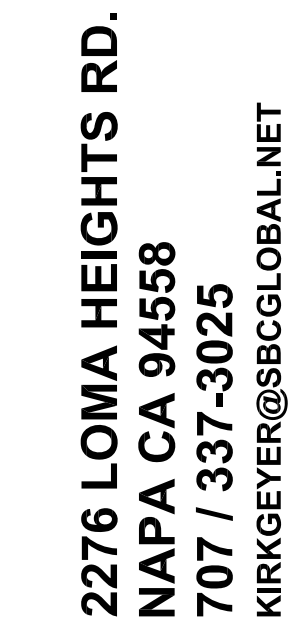
2 RIGHT ELEVATION - OPT 2
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 2
3/16" = 1'-0"



4 REAR ELEVATION - OPT 2
3/16" = 1'-0"



**ZINFANDEL
SUBDIVISION**

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS - OPT 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	

A322 of